



Willows Planning Commission Regular Meeting

May 15, 2024
Willows City Hall
6:00 PM

City Council
Pedro Bobadilla, Chair
Maria Ehorn, Vice Chair
Holly Myers, Commissioner
Llanira Valencia, Commissioner
Sherry Brott, Commissioner

City Planner
Byron Turner

City Clerk
Amos Hoover

201 North Lassen Street
Willows, CA 95988
(530) 934-7041

Agenda

Watch online via Zoom (Passcode 95988):

<https://us06web.zoom.us/j/88958507637?pwd=ZOS2LUDUoVPLBi47VKKa7aVG9qdmAg.1>

Remote viewing of the Planning Commission meeting for members of the public is provided for convenience only. In the event that the remote viewing connection malfunctions for any reason, the Planning Commission reserves the right to conduct the meeting without remote viewing.

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CHANGES TO THE AGENDA**
5. **PUBLIC COMMENT & CONSENT CALENDAR FORUM**

All matters on the Consent Calendar are considered routine and are approved by one motion and vote unless Commission Members or the City Planner first requests that a matter be removed for separate discussion and action. Individuals wishing to address the Commission concerning Consent Calendar items or regarding matters that are not already on the agenda are invited to make oral comments of up to three minutes at this time.

Please address your comments to the Chairman and Commission members, and not to staff and/or the audience. By State law, the Commission is not permitted to undertake any action or discussion on any item not appearing on the posted agenda. If you have any documentation that you would like distributed to the Commission, please mail it to the City Planner at 201 North Lassen Street, Willows, CA 95988 or email it to:

bturner@cityofwillows.org.

a. **Minutes Approval**

Recommended Action: Approve minutes of the April 25, 2024, Planning Commission Meeting.

Contact: Amos Hoover, City Clerk, a Hoover@cityofwillows.org

6. **PUBLIC HEARING**

All matters in this section of the agenda are formal public hearings and will be acted on individually. Once the Chair opens the public hearing, members of the public may request to speak. When you are called on by the Chair, please state your name clearly for the audio recording. If you have any documentation that you would like to be distributed to the Commission, please give it to the City Planner for distribution.

a. **Minor Use Permit/ File #UP-24-02/W. Sycamore Street @ N. Plumas**

Recommended Action: Staff recommends the Commission receive the Staff Report, attachments, discuss, and upon conclusion, consider adoption the attached resolution.

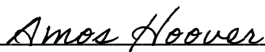
Contact: Byron Turner, City Planner, bturner@cityofwillows.org

7. COMMENTS & REPORTS

- a. Commission Comments & Reports
- b. Staff Comments & Reports

8. ADJOURNMENT

This agenda was posted on May 10, 2024.



Amos Hoover, City Clerk

A complete agenda packet, including staff reports and back-up information, is available for public inspection during normal work hours at City Hall or the Willows Public Library at 201 North Lassen Street in Willows or on the City's website at www.cityofwillows.org.

In compliance with the Americans with Disabilities Act, the City of Willows will make available to members of the public any special assistance necessary to participate in this meeting. If requested, the agenda shall be made available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132). The public should contact the City Clerk's office at 934-7041 to make such a request. Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

The City of Willows is an Equal Opportunity Provider



PUBLIC COMMENT & CONSENT CALENDAR FORUM



Willows Planning Commission Action Meeting Minutes April 25, 2024

Planning Commission
Pedro Bobadilla, Chair
Maria Ehorn, Vice Chair
Llanira Valencia, Commissioner
Holly Myers, Commissioner
Sherry Brott, Commissioner

1. CALL TO ORDER– 6:00 PM

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Commissioners Present: Chair Bobadilla, Vice Chair Ehorn, and Commissioners Brott and Valencia.
Commissioners Absent: Commissioner Meyers

4. CHANGES TO THE AGENDA

None

5. PUBLIC COMMENT & CONSENT CALENDAR FORUM

a. Minutes Approval

Action: Minutes approved for the March 20, 2024, Planning Commission Meeting.

Moved/Seconded: Commissioner Valencia/Commissioner Brott

Yes: Chair Bobadilla, Vice Chair Ehorn and Commissioners Brott and Valencia

No: None

Absent: Commissioner Meyers

6. PUBLIC HEARING

a. Design Review/ File #DR-24-01/844 Wood Street

Hearing Open: 6:21PM, Closed: 6:25PM

Public Comment

Elton Garner

Action: Held a public hearing and approved use permit. Requested design review to return to the commission for clarification and approval prior to any business being conducted.

Moved/Seconded: Vice Chair Ehorn/Commissioner Valencia

Yes: Chair Bobadilla, Vice Chair Ehorn and Commissioners Brott and Valencia

No: None

Absent: Commissioner Meyers

b. **Design Review/ File #DR-24-02/1475 Hwy 99W**

Hearing Open: 6:35PM, Closed 6:36PM

Action: Held a public hearing and approved design review.

Moved/Seconded: Commissioner Brott/Vice Chair Ehorn

Yes: Chair Bobadilla, Vice Chair Ehorn and Commissioners Brott and Valencia

No: None

Absent: Commissioner Meyers

7. **COMMENTS & REPORTS**

a. Commission Comments & Reports

b. Staff Comments & Reports

8. **ADJOURNMENT – 6:42 PM**

Amos Hoover, City Clerk



PUBLIC HEARING



Date: May 15, 2024
To: Planning Commission
From: Byron Turner, Principal Planner
Subject: Minor Use Permit/ File #UP-24-02/W. Sycamore Street @ N. Plumas

Recommendation: Staff recommends the Commission receive the Staff Report, attachments, discuss, and upon conclusion, consider adoption the attached resolution.

Rationale for Recommendation: Per WMC 18.55.030(09) Outside Sales and transient or mobile business operations are allowed with an approved use permit from the Planning Commission.

Background:

The subject property is located in the Central Commercial zoning district, on the corner of W. Sycamore St. and N. Plumas St. The site is currently vacant. The General Plan Designation is General Commercial.



Figure 1: Location

Project

Discussion:

The applicant proposes to utilize the existing vacant lot to place a mobile food trailer, which is a conditionally permitted use in the CC District.

The business plans to be open daily from 8am to 6pm, and proposes a community atmosphere, serving breakfast, lunch & dinner. The applicant is proposing to install asphalt across the 150 ft. front side of W. Sycamore Street and 30 ft. on Plumas The applicant, who is in the process of purchasing the lot, will remove 2 trees from the center property, and will hire a landscaper to maintain the lot.



Figure 2: Trailer

The applicant currently holds a food facility permit, and intends to use a carport structure for shade and a silent generator for electricity. A portable “porty-potty” still toilet will be located on site with a required hand washing station.

The applicant has future plans to build and operate a butcher and commissary with upstairs residence in the future.

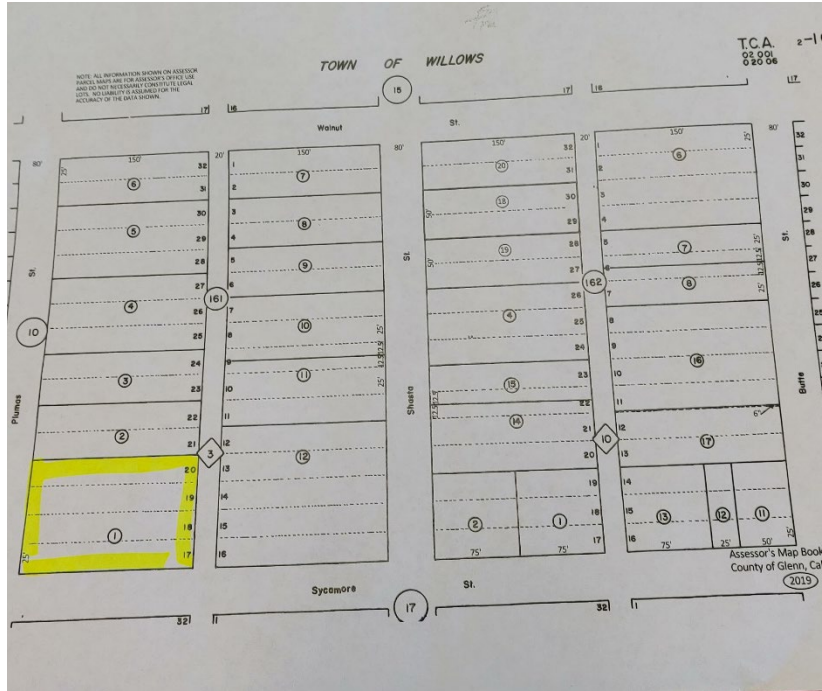


Figure 3: APN Map

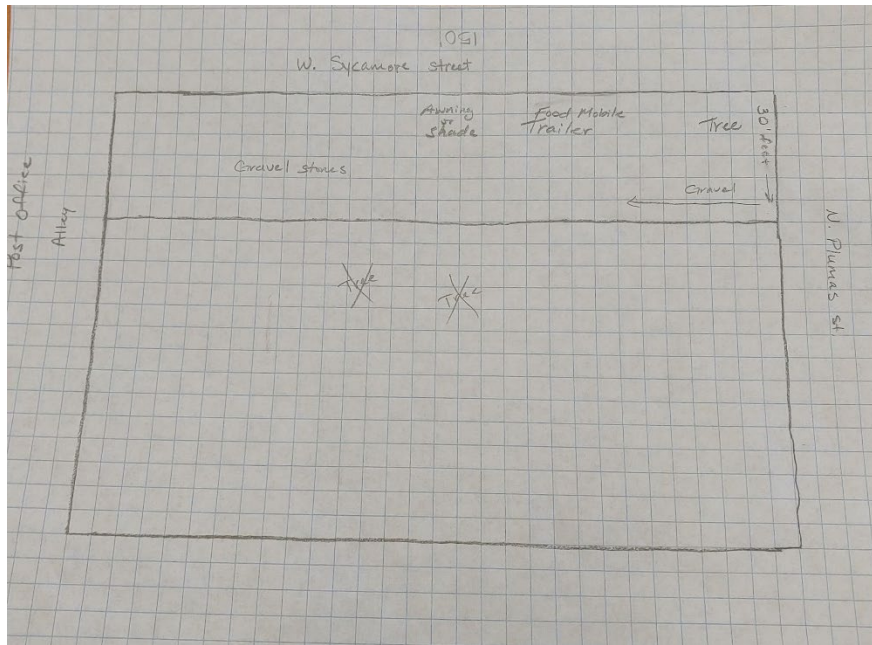


Figure 4: Site Plan



Figure 5: Carpo



Figure 6: Generator

Discussion & Analysis:

Use Permit:

The applicant proposes to utilize the existing vacant lot to place a mobile food trailer, which is a conditionally permitted use in the CC District.

The General Commercial designation provides for a variety of general retail businesses including, but not necessarily limited to: banks, business offices, food, hardware, variety, department, drug, and clothing stores. The applicant is also/has obtained necessary permits from Environmental Health.

The surrounding zoning is the same as the site with commercial uses to the north, and east. General Commercial is the zoning to the south.

The site is exempt from off-street parking requirements (WMC 18.55.060). Signage exists on the trailer itself.

Findings of Fact for use permit approval is required per WMC Chapter 18.135.050. These findings are included in the Draft Resolution and are as follows:

- (1) That the use is consistent with the purposes of the district in which the site is located; and
- (2) That the proposed location of the use and the conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity; and
- (3) That the proposed use is in conformance with the general plan. [Ord. 632-91 § 26.05, 10-22-91].

In accordance with Section 18.135.030 notice of this public hearing was published in the local newspaper ten (10) days prior to the public hearing and all property owners as indicated on the latest secured Assessor's records within 300 feet of the subject property were sent notice of the hearing. As of the date of preparation of this report no written or verbal public comments have been received by this office.

Fiscal Impact:

A PTA has been deposited for processing of the application.

Attachments:

- Attachment 1: Draft Resolution
- Attachment 2: Draft Conditions of Approval
- Attachment 3: Applicant submittal

PC RESOLUTION NO. _____-2024

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS APPROVING USE PERMIT (FILE # UP-24-02) TO ALLOW ESTABLISHMENT OF A MOBILE FOOD TRAILER FOR PROPERTY LOCATED AT W SYCAMORE STREET ASSESSORS PARCEL NUMBER 002-161-001 WITHIN THE CENTRAL COMMERCIAL ZONE

WHEREAS, the applicant, Juan Carlos Ocampo and Christina Ocampo has made application for Use Permit approval to allow establishment of a Mobile Food Trailer; and

WHEREAS WMC Chapter 18.55.030(11) allows for Outside Sales and transient or mobile business operations are allowed within the Central Commercial zone with a Use Permit approved by the Planning Commission; and

WHEREAS notice of the Planning Commission meeting held on May 15, 2024, was published in a newspaper of general circulation in the City in accordance with law, and mailing to property owners within 300 feet were sent; and,

WHEREAS the Planning Commission did, on May 15, 2024, hold a public hearing to consider all public oral and written comments, letters and documents, staff reports, and all other documents and evidence which are a part of the Record; and,

WHEREAS the Planning Commission does find that the proposed project qualifies as a Categorical Exemption under Sections 15301 & 15303; and

WHEREAS pursuant to Section 18.135.050 of the Zoning Ordinance, the following findings are made:

- 1) That the use is consistent with the purposes of the district in which the site is located.
WMC Chapter 18.55.030(11) allows for Outside Sales and transient or mobile business operations are allowed within the Central Commercial zone with a Use Permit approved by the Planning Commission
- 2) That the proposed location of the use and the conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.
The location of the new use will be located on land that is currently vacant and underutilized, and conditions of approval have been placed upon the use ensuring that it will not be detrimental to the public health, safety, or welfare or materially injurious to properties.
- 3) That the proposed use is in conformance with the General Plan.
Commercial businesses are allowed within the land use designation of General Commercial.

NOW THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Willows does hereby find that the request to allow establishment of a mini-mart style market is consistent with the General Plan, and the City of Willows Municipal Code; and hereby approves Conditional Use Permit (file # UP-24-02), subject to the attached conditions of approval.

IT IS HEREBY CERTIFIED that the foregoing Resolution was duly adopted at a regular meeting of the Planning Commission of the City of Willows on Wednesday, the 15th day of May 2024 by the following vote, to wit:

AYES _____

NOES _____

ABSTAIN _____

ABSENT _____

APPROVED: _____
Pedro Bobadilla, Chairperson

ATTEST: _____
Recording Secretary

**Use Permit (UP-24-02) Conditions of Approval
For new Mobile Food Trailer
W Sycamore Street/APN: 002-161-001
PC approval date: _____ 2024**

GENERAL

1. That the applicant/developer shall enter into a *Pass-Through Agreement* with the City of Willows to pay the cost of all planning review, plan checking and field inspection of this project.
2. The approval of this project shall be subject to the latest adopted Ordinances, Resolutions, Policies, and fees of the City of Willows.
3. In any case where a use, permitted by a use permit, is not made on the project subject to the permit within the time specified in the permit or within one year after the date of granting thereof, then without further action, the permit shall be null, and void and such use shall not be made of the property except upon the granting of a new permit.
4. All plans for additional uses, which are not covered by this review, shall be submitted to the City Manager/Planning Commission for review and approval prior to use.
5. Any new signage to advertise the business shall obtain sign permit approval from the city prior to installation.
6. The applicant/business owner shall comply with all requirements of the ABC (Alcohol & Beverage Control) for sale to the general public.
7. The business shall obtain a city business license prior to operation.

GLENN COUNTY ENVIRONMENTAL HEALTH DEPARTMENT

8. The applicant will need to apply for and obtain a Food Facility Permit from the County Health Department prior to opening for business.
9. The applicant must submit plans to the Department for review and approval per the food facility plan check requirements on the County website. Contact Jay Bhakta at 530-934-6102.
10. The mobile trailer shall be removed from the site kept at an approved commissary nightly.

FIRE DEPARTMENT

11. All applicable fire fees shall be paid prior to the issuance of any building permit.
12. All fire and alarm systems must meet the approval of the Fire Chief.
13. The business shall provide fire extinguishers in accordance with the 2022 CFC.
14. A Pre-Fire Plan and Inspection will need to be completed before occupancy of the building.
15. Regular Fire Department safety inspections shall occur annually.

May 2, 2024

Board of Planning Committee
201 N. Lassen Street
Willows, CA 95988

To Board of Planning Committee,

I would like to take this opportunity to introduce myself and my family and provide you with a little more detailed information of what our plans are and any future plans we are in hopes of pursuing for our family business. The business we are wanting to establish here is a family business called Tacos Ocampo; family members are my husband Juan Carlos Ocampo, my sons Carlos and Cristian Ocampo, and daughter Maria Ocampo. We are a family that has lived and settled our roots in Willows for over 15 years and I've lived in our surrounding areas all my life more specifically Princeton. My 3 children have all graduated from Willows High School. My husband and sons work for MarVal Foods store and also when it used to be Sanifood Market; and my daughter is an Elementary Teacher at Maxwell Elementary School. I have work for Willows Unified School District Cafeteria for over 14 years and we wish to settle our business roots here in Willows; grow and prosper in our wonderful town of Willows.

Tacos Ocampo is wanting to put a Food Truck on our recently purchased vacant lot. We will create a nice atmosphere around our Food Truck to make it family and community friendly. Tacos Ocampo plans to operate from 8 am to 6 pm serving breakfast, lunch and dinner; we plan to have authentic Mexican food and offer other variety food options like hamburgers, chicken strips, taco salads and daily meal specials. Provide daily Honker discount meals for our local students and loyalty breakfast burrito stamp cards to our customers. My husband comes from a Mexican family that has a long line of experience with authentic Mexican food catering in Mexico and is hoping of passing down some of his knowledge and experience to his sons to carry on his families' traditions.

We are proposing to install asphalt all across the 150 ft front side of W. Sycamore street and about 30 ft down N. Plumas street of our vacant lot; the asphalt will help us in maintaining our land accessible for us to drive our Food Truck on and off the lot and also it will help have handicap accessibility to get to our Food Truck from the alley way and from sidewalk corner of W. Sycamore and N. Plumas streets and it will help keep the appearance of the lot always looking the same especially with our wonderful clay soil we have in Willows. We are removing the center trees on our vacant lot and we currently hired a gardener that will be keeping maintenance to our lot twice a month. We also have a food facility permit and we are using MarVal as our Commissary. We plan on using a silent generator for electricity, Ben Toilet Rentals for a porter potty rental; and eventually in the future we plan to set up electrical, sewer, and water utilities to our vacant land. We are planning to use a carport structure 18' x 20' x 8' for shade.

We have future plans to build our own butcher/meat store on our lot that we can later use as our own commissary instead of Marval, and possibly build a residential on top of the store.

We have attached pictures of the carport, generator, Food Truck and we look forward in meeting you all in the Planning Committee meeting this month and answer any other questions you may have. Thank you for taking the time to review our request and read this letter.

Sincerely,
Cristina E. Ocampo





Color Options

Mix and match colors as you see fit!



FOOD FACILITY PERMIT

For Services Provided in the Areas of Glenn County Only

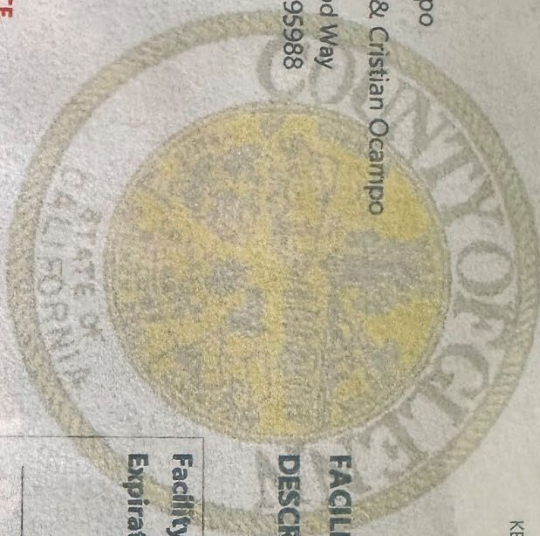
BUSINESS NAME: Tacos Ocampo

BUSINESS OWNER: Juan, Carlos & Cristian Ocampo

BUSINESS LOCATION: 820 Applewood Way
Willows, CA 95988

Tacos Ocampo
820 Applewood Way
Willows, CA 95988

TO BE POSTED IN A CONSPICUOUS PLACE



COUNTY OF GLENN

KEVIN BACKUS, DIRECTOR · ENVIRONMENTAL HEALTH
225 North Tehama Street · Willows, CA 95988
Phone: (530) 934-6102
Fax: (530) 934-6103

NONTRANSFERABLE

FACILITY TYPE: Mobile Food

DESCRIPTION: Mobile Food

Facility ID: EH24-30

Expiration Date: March 31, 2025

Health Officer, County of Glenn



COMMENTS AND REPORTS