

PLANNING COMMISSION

Peggy White, Chair  
Robert Griffith, Vice Chair  
Shirley Benningfield, Commissioner  
Candis Woods, Commissioner  
Walter Michael, Commissioner

CITY PLANNER  
Karen Mantele

MINUTE CLERK  
Maria Ehorn



201 North Lassen Street  
Willows, CA 95988  
(530) 934-7041

**PLANNING COMMISSION MEETING AGENDA**  
**Wednesday December 14, 2016**  
**7:00 p.m.**

1. **Call to Order - 7:00 p.m.**
2. **Pledge of Allegiance**
3. **Roll Call**
4. **Agenda Review:** (Requested Changes by Commissioners or Staff?)
5. **Public Comment:** Persons wishing to speak on a matter *not on the agenda* may be heard at this time; however, no action will be taken unless placed on a future agenda. (***Public Comments are generally restricted to three minutes.***)
6. **Approval of Minutes:** Minutes of Planning Commission meeting held November 16, 2016
7. **Public Hearing/New Business**
  - a. **Design Review (File# Dr-16-09) Applicant/Owner: Eric & Suzanne Wunsch/same**  
353 W. Wood Street/Assessors Parcel Number 005-401-013 & -014/Entryway (E) zone/ Entryway Land Use Designation/Design Review for new administration building and site improvements
  - b. **Design Review (File# DR-16-10) Applicant/Owner: Alternative Energy Systems Inc/Suresh Patel**  
475 N. Humboldt Avenue/Assessors Parcel Number 017-330-022/CH (Highway Commercial) zone/ Highway Commercial Land Use Designation/Design Review for roof mounted photovoltaic solar system on existing commercial building
  - c. **Use Permit (File# UP-16-07) Applicant/Owner: Ben & Rae Ann Titus/same**  
311 N. Butte Street/Assessors Parcel Number 002-142-009/CC (Central Commercial) zone/General Commercial Land Use Designation/Use Permit request for changed Master Sign Program for commercial complex
8. **Commission Commentary**
9. **Adjournment**

**CERTIFICATION:** Pursuant to Government Code § 54954.2 (a), the agenda for this meeting was properly posted on or before December 9, 2016.

A complete agenda packet, including staff reports and back-up information, is available for public inspection during normal work hours at City Hall or the Willows Public Library at 201 North Lassen Street in Willows or on the City's website at [www.cityofwillows.org](http://www.cityofwillows.org). In compliance with the Americans with Disabilities Act, the City of Willows will make available to members of the public any special assistance necessary to participate in this meeting. The public should contact the City Clerk's office 934-7041 to make such a request. Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

The City of Willows is an Equal Opportunity Provider

**MINUTES OF THE WILLOWS PLANNING COMMISSION MEETING**

**WEDNESDAY, NOVEMBER 16, 2016**

1. The meeting was called to order at 7:00 pm by Chair White.

2. **PLEDGE OF ALLEGIANCE:**

Chair White led the Pledge of Allegiance.

3. **ROLL CALL:**

Karen Mantele, Planner, Maria Ehorn, Minute Clerk

PRESENT: White, Benningfield, Griffith, Woods

ABSENT: Michael

4. **AGENDA REVIEW:** Chair White asked if there were any changes to the agenda by staff or Commissioners. Staff and Commission had no changes to the agenda.

5. **PUBLIC COMMENT:** Chair White introduced the item. No comments were made.

6. **APPROVAL OF MINUTES:** It was moved by Commissioner Griffith seconded by Commissioner Benningfield to approve the minutes of September 21, 2016.

AYES: White, Benningfield, Griffith

NOES: None

ABSENT: Michael

ABSTENTION: Woods

Commissioner Woods stated she would like some clarification in the minutes of October 19, 2016 regarding item 7a. It was determined by the Commission that the pole sign in question already exceeded the square footage as allowed by code and therefore its size could not be increased and she would like the minutes to of October 19, 2016 to reflect this information. It was moved by Commissioner Griffith seconded by Commissioner Woods to approve the minutes of October 19, 2016 as amended.

AYES: White, Benningfield, Griffith, Woods

NOES: None

ABSENT: Michael

ABSTENTION: None

7. **PUBLIC HEARING(S)/NEW BUSINESS:**

**a. Design Review (File#DR-16-08) Applicant/Owner: Kevin Robertson/Northern Valley Indian Health**

257 N. Butte Street/Assessors Parcel Number 002-152-008 & 009/CC (Central Commercial) zone/General Commercial Land Use Designation/Revision to Engineering Conditions.

Chair White introduced the agenda item. Ms. Mantele presented the agenda report to the Commission addressing why the item was before them. Two Engineering conditions were modified and are being brought before the Commission for final approval. Commissioner Griffith asked about the elevation above the sewer drain and if that had been determined yet. Mr. Dawley, City Building Official, stated there has been some preliminary topographical work done and the slab was equal to or less than the top of the manhole and that is what generated the comment but that the wording in the conditions of approval (COA) allows for other means to meet the requirements.

Chair White then opened the public hearing. No comments were heard. Chair White then closed the public hearing.

Commissioner Griffith moved to approve the next resolution in line entitled, A Resolution of the Planning Commission of the City of Willows granting approval to modify the conditions of approval granted to Northern Valley Indian Health for construction of a two-story 20,565 sf administration building and site improvements for property located at 257 N Butte Street Assessors Parcel numbers 002-152-008 & 009. The motion was seconded by Commissioner Woods.

AYES: White, Benningfield, Griffith, Woods

NOES: None

ABSENT: Michael

ABSTENTION: None

**b. Variance Application (File# V-16-01) Applicant/Owner: Robert & Virginia Coombs/same**

649 and 653 S. Butte Street/Assessors Parcel Number(s) 002-282-013 & 015/R-1 (Single Family Residential) zone/Low Density Residential Land Use Designation/Request to allow 4 foot interior side yard setbacks between existing structures and request to reduce lot width of one lot to allow Lot Mergers between lots.

Chair White introduced the agenda item. Ms. Mantele presented the agenda report to the Commission. Mr. Dawley gave a brief building permit history of the parcels.

Chair White opened the public hearing. Mr. Coombs was in the audience and spoke regarding why he was requesting the variance. Chair White then closed the public hearing.

Commissioner Benningfield moved to approve the next resolution in line entitled, A Resolution of the Planning Commission of the City of Willows granting variance approval (File #V-16-01) to Robert and Virginia Coombs to allow four foot side yard setbacks between two existing buildings and allow to vary from the lot width regulation for property located at 649 and 653 South Butte Street Assessors parcel numbers 002-282-015 and 002-282-013. The motion was seconded by Commissioner Griffith.

Staff reminded applicants that there is a 10 day appeal period.

Mr. Coombs spoke again thanking the Building Official, Mr. Dawley, for all of his help. He also thanked the Commission for approving the variance.

AYES: White, Benningfield, Griffith, Woods

NOES: None

Absent: Michael

ABSTENTION: None

**8. COMMISSION COMMENTARY:**

1. Ms. Mantele asked about setting the next Planning Commission meeting in December due to the holidays. It was the consensus to set the meeting for Wednesday, December 14, 2016. Ms. Mantele stated she should have 2 projects to come before the commission at that time.
2. Commissioner Woods asked about the Denny's and the motel next door properties and what was happening with that. Staff stated that they have not heard anything lately but there was a rumor that the motel may be changing names. A short discussion between staff and commission followed. Commissioner Woods also asked if there were any comments back regarding the sign review from the last meeting. Staff stated that Mr. Patel had stopped by and he will be will adjust his request accordingly to reflect sign plans no larger than he has now. Ms. Mantele stated that Mr. Patel will have another project before the Commission in December regarding installing solar panels.
3. Commissioner Griffith asked Mr. Dawley about the Chevron station and if they have a reroof permit. Mr. Dawley stated it may be that they are dealing with a pigeon problem but he would check on it.

**ADJOURNMENT:** Meeting adjourned at approximately 7:32pm.

---

PEGGY WHITE – Chair

---

Maria Ehorn – Minute Clerk

**Planning Commission Agenda Report:**

**December 14, 2016**

**Project:** Design Review (File# DR-16-09) Construction of new 1,833 SF chiropractic office building and site improvements  
**Applicant(s)/Owner:** Eric & Suzanne Wunsch/same  
**Project Location:** 353 W. Wood Street  
**Parcel No:** 005-401-014  
**Zoning:** Entryway (E) zoning  
**General Plan** Entryway

**Project Description**

The applicants Eric & Suzanne Wunsch have submitted a Planning Application requesting Design Review approval from the Commission for a new single story chiropractic office building and associated site improvements. The applicants desire to build a new office to accommodate their growing needs as the current office located on the adjacent parcel to the west, is limiting in space for their patients and staff. The chiropractic office will be open for operation either by staff or Doctor, Monday and Friday 7am to 5 pm; Tuesdays and Thursdays from 9 am to 6 pm; and Wednesday’s 9am to 5pm. There are 3 part time employees, 1 full time employee as well as the Doctor of Chiropractic.

**Review Process:**

This matter is before the Planning Commission pursuant to Chapter 2.45 of the City of Willows Municipal Code.

**Zoning/ General Plan Consistency:**

The project site is zoned Entryway (E), which allows for various permitted uses, including offices. Therefore the proposed project is a permitted use. Zoning to the north, south, east and west is the same as the project sit. Lot coverage with the new building which will result in a 26% lot coverage, complying with the zone regulations of 50% maximum. Required setbacks have been met.

The General Plan Land Use designation for this site is Entryway pursuant to the City’s General Plan Land Use Map. The proposed use is consistent with this designation, which designation provides for a mix of commercial, office and residential uses along arterial streets leading to the downtown.



**Existing office building**



**Vacant lot for new building**

**Design Review Analysis (pursuant to Section 2.45.060):**

**Competent Design:** The building is designed to have a residential look to it, as required by the Wood Street Guidelines, which state that this design should be interpreted broadly to include the design of homes typical of a residential area. The “gable end” design is indicative of residential homes and therefore qualifies as competent design.

**Relationship between Structures within the Development and between Structures and Site:** There is an existing stucco structure to the west built in the late 1930’s. This structure was built as a single family residence at the time. A carport is attached to the east side of this building which will be removed in order to gain the necessary space to provide parking for the new building through a Lot Line Adjustment. The new structure will be a wood construction and will not match this building. The surrounding development to the subject parcel are mainly single family structures, all built around the same era as the stucco building.

**Relationship between Development and Neighborhood:** The proposed project is to construct a new building which will be designed to an architectural residential theme per the Wood Street Design Guidelines. The new building will enhance the neighborhood.

**Materials and Colors Used:** The applicants propose to place hardie lap siding and trim on the building using a brown tone color for the siding, and accent the gable area with a grey hardie lap siding. The roof will be composition shingles in a green/brown tone. The south side of the building, facing Wood Street, has been designed with a covered arched entrance over the entry door, which the bottom of the columns will be stone veneer.

**Wall, Fences or Screening:** No fencing is being proposed with the new building. The north side of the property has an existing approximate four-foot high wire fence separating the two parcels.

**Surface Water Drainage:** All on-site surface water shall be 100% retained on site. Conditions of approval have been incorporated into Attachment 2 under Engineering Department to maintain that the water is contained and drains properly.

**Drives, Parking and Circulation:** Per the parking regulations (Section 18.120) parking for clinics/doctor offices will require one parking space for every 300 SF of gross floor area plus one space for each employee and doctor or other professional attendant serving the clinic with a minimum of four spaces required. The proposed building is 1,833 square feet, requiring 11 parking spaces for this project, including one van accessible parking space (*6 for the building, and five for the staff and doctor*). The size of the building and the lot size constitutes an issue with providing all the necessary on-site parking. In order to accomplish the required parking for this new building, a reciprocating access and parking easement agreement with the adjacent parcel to the west, shall be required to be recorded as indicated in the conditions of approval. Additionally as conditioned, a Lot Line Adjustment will be necessary to shift the lot line to create the space for the required parking as parking cannot cross over lot lines. The end resulting lot sizes will be in compliance with the zone regulations.

Section 18.50.050(2)(f) states that off street parking shall not be provided in the front of any structure. An accessible handicap parking space is located near the front of the building just off of the front covered entrance. In order to provide an accessible path of travel to the building with the site constraints it was necessary to place this parking space towards the front of the new building. A finding is included in the resolution to allow this one parking space to be located there.



### **Carport to be removed**

**Landscaping:** The project will include new landscaping along the front of the proposed building. A complete landscape plan was not part of the submittal; however one will be required to be submitted for Staff review and approval per the conditions of approval.

### **Environmental Review and Analysis**

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA). Staff has determined that the proposal is exempt from further CEQA pursuant to CEQA Code Section 15303, Class 3, New Construction or Conversion of Small Structures.

### **STAFF RECOMMENDATION:**

Staff recommends the Commission adopt the attached resolution recommending Design Review approval to construct a 1,833 SF office building with site improvements, subject to the conditions of approval as shown in Attachment #2, and site plan/elevations as shown on Attachments #3 & #4.

### **PLANNING COMMISSION OPTIONS:**

- 1) Recommend approval of the Design Review proposals and subject to Conditions of Approval as described in Attachment 2
- 2) Deny the Design Review applications with appropriate findings for denial

### **Attachments:**

1. Draft Planning Commission Resolution
2. Proposed Conditions of Approval
3. Site Plan
4. Proposed building elevations
5. APN map

Submitted by:

Karen Mantele  
Principal Planner

PC RESOLUTION NO. \_\_\_\_\_-2016

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS GRANTING DESIGN REVIEW APPROVAL (FILE #DR-16-09) TO ERIC AND SUZANNE WUNSCH FOR CONSTRUCTION OF A 1,833 SF OFFICE BUILDING AND SITE IMPROVEMENTS FOR PROPERTY LOCATED AT 353 W. WOOD STREET, ASSESSORS PARCEL NUMBER 005-401-014**

**WHEREAS**, the applicants, Eric & Suzanne Wunsch, have submitted a Planning Application for Design Review approval of a new 1,833 square foot office building with site improvements; and,

**WHEREAS**, City of Willows Municipal Code Section 2.45.030 requires Design Review approval for new construction; and

**WHEREAS**, the Planning Commission did, on December 14, 2016 , hold a public hearing to consider all public oral and written comments, letters and documents, staff reports, and all other documents and evidence which are a part of the Record; and,

**WHEREAS**, the Planning Commission has reviewed all evidence submitted in connection with the application, including public testimony, staff report, supporting documentation, City codes and regulations, and all other relevant documents and evidence which are part of the record of proceedings; and,

**WHEREAS**, the Planning Commission finds that the proposal is considered exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303, Class 3, New Construction or Conversion of Small Structures; and

**WHEREAS**, the Planning Commission finds that the proposal to allow one handicap parking space to be located near the front of the new building is appropriate.

**NOW THEREFORE, BE IT RESOLVED**, that the Planning Commission of the City of Willows does hereby find that the Design Review proposal to construct a new 1,833 SF office building and install site improvements is consistent with the City of Willows General Plan, the City of Willows Municipal Code, the Wood Street Guidelines, and hereby approves the Design Review request, File #DR-16-09, subject to the attached conditions of approval set forth in Attachment #2; and site plan and elevations set forth in Attachments #3 and #4.

**IT IS HEREBY CERTIFIED** that the foregoing Resolution was duly adopted at a regular meeting of the Planning Commission of the City of Willows on Wednesday, the 14<sup>th</sup> day of December, 2016, by the following vote, to wit:

AYES \_\_\_\_\_  
NOES \_\_\_\_\_  
ABSTAIN \_\_\_\_\_  
ABSENT \_\_\_\_\_

APPROVED: \_\_\_\_\_  
Peggy White, Chairperson

ATTEST: \_\_\_\_\_  
Maria Ehorn, Recording Secretary

**Design Review (File# DR-16-09)**  
**CONDITIONS OF APPROVAL FOR**  
**ERIC & SUZANNE WUNSCH NEW OFFICE BUILDING**  
**For property located at**  
**353 W. Wood Street/APN; 005-401-013 AND 005-401-014**

**PC approval date: \_\_\_\_\_, 2016**

**General**

1. That the applicant/developer shall enter into a Pass Through Agreement with the City of Willows to pay the cost of all planning review, plan checking and field inspection of this development.
2. The approval of this project shall be subject to the latest adopted Ordinances, Resolutions, Policies and fees of the City of Willows.
3. The developer shall adhere to the design and specification of the Architectural Design Review approval which allows for the construction of a new 1,833 SF office building and site improvements to said property.
4. An Occupancy Permit shall not be issued in part or whole for any building until work specified in the design review approval has been completed, including landscaping. If for any valid reason full compliance cannot be made a cash bond shall be posted for the work to be completed within a reasonable period of time as determined by the City Manager or his authorized representative.
5. The developer shall provide a final landscape and irrigation plan for City staff review and approval. Plan shall include location and dimensions of all irrigation controls, sprinkler pipes and heads. Landscaping shall comply with WMC, the Master Tree List, including standard detail S-19. All landscaping shall be maintained in good condition and any dead or dying plants, bushes, or trees shall be replaced with new healthy stock of a size compatible with the remainder of the growth at the time of replacement.
6. The applicant shall first secure sign permit approval from the Planning Department prior to installation of any business signage.
7. On-site parking shall be provided in accordance with the site plan, which shows 9 on-site parking spaces and 2 on adjacent property to the west, which a reciprocal parking agreement shall be in place.
8. The Architectural Design Review approval shall expire in one year unless otherwise stipulated by the Planning Commission. The applicant may apply to the Building Official for an extension of not more than one year from the original date of expiration, if he finds that there has been no substantial change in the factual circumstances surrounding the originally approved design. Substantial changes and any further extension beyond one year shall require Planning Commission approval.

9. All building mounted and site lighting shall be shielded lights, down lights, and or full cut off lights so that the bulb is not visible from off-site and light does not create glare or hazard onto adjoining properties/streets. All lighting must meet the City Standards.
10. In the event that archaeological remains or artifacts are uncovered during construction activities, work shall be stopped and a qualified archaeologist shall survey the site. The archaeologist shall submit a report with recommendations on the disposition of the site. Disposition may include, but is not limited to, excavation and documentation, capping the site, or leaving the site in an open space area. The recommendations of the archaeologist shall be incorporated in the project.

### **Building Department**

11. The applicant shall submit a completed building permit application, including plan check review deposit fees at the time of building permit/plan submittal.
12. The applicant shall submit 4 complete sets of plans, calculations and specifications to the building department for review.
13. Include a demolition and/or construction plan for the existing building for review. (separate parcel equals a separate submittal and separate permit).
14. The proposed moving of a property line will constitute a violation of Chapter 6 of the 2013 CBC specifically table 602 “ FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPERATION DISTANCE”. Provide additional details as necessary.
15. The proposed new building cannot be constructed over an existing sewer line if the sewer pipe material is of a type not allowed in or under a structure. Provide details.
16. The applicant shall be responsible for payment of school fees prior to permit issuance. (Willows Unified School District 934-6600).
17. Show the actual alley right of way location, not the current vehicle path, on all submitted documents.
18. The property is in a “Special Flood Hazard Area” and shall comply with all Federal, State and local codes and ordinances regarding construction with a flood zone.
19. The plans and the project shall comply with all Federal, State and local codes and ordinances.

### **Fire Department**

20. All buildings shall have a fire sprinkler system installed. The Fire Department shall review all sprinkler plans prior to installation per WMC 15.15.10.
21. All fire and alarm systems must meet the approval of the Fire Chief per WMC 15.15.120.

22. A knox box shall be installed per Fire Chief approval per WMC 15.15.130.
23. The building address signing shall meet all WMC 15.15.100 criteria and be reviewed by the Fire Chief prior to installation.
24. Provide fire extinguishers in accordance with 2013 CFC.
25. Provide illuminated exit signs over all exit doors in accordance with the 2013 CBC and CFC.
26. All exit doors shall have no knowledge door locks, be posted "This door to remain unlocked when building is occupied" and swing in the direction of exit travel.
27. FDC connection will be within 50' of hydrant.
28. On site road surface will meet CFC Chapter and Section 15.15.090 Fire Apparatus Access Roads.
29. Red curbs may be required and will be inspected at the time of construction.

### **Caltrans Department**

30. Prior to final project approval, detailed drainage plans, drawings or calculations, hydrologic/hydraulic study or report, or plans showing the "pre-construction" and "post-construction" coverage quantities for buildings, streets, parking, etc. shall be reviewed by the Department.
31. A drainage report addressing the following details should be included for review: No net increase in drainage shall be directed to State ROW as a consequence of future development. Any work performed within or from State ROW will require an encroachment permit. Conveyance facilities within State's ROW shall not have their capacity reduced as a consequence of development, resulting in run-off encroachment into the traveled way.
32. Any work or traffic control that encroaches upon the State's ROW requires Caltrans issued encroachment permit. For this project an encroachment permit will be needed for the driveway improvements off of Wood Street and should include standard 6 foot sidewalks with driveway improvements. To apply, a completed encroachment permit application, environmental documentation, and five sets of plans including the State's ROW must be submitted to the address at: Office of Permits, Caltrans-District 3, 703 B Street, Marysville, CA 95901. Traffic-related mitigation measures should be incorporated into the

construction plans prior to the encroachment permit process. See the following URL address for additional information: <http://www.dot.ca.gov/hq/traffops/developserv/permits>.

## **Engineering Department**

### **General Conditions:**

33. Developer shall design and construct all improvements and facilities shown on any approved site plan or other documents submitted for permit approval in accordance with the Willows Municipal Code (WMC), the City of Willows Design and Construction Standards. Approval of a site plan depicting improvements that do not conform to the WMC or City standards does not constitute approval of an exception to the WMC or City standards unless explicitly stated herein or in another City resolution.
34. The developer shall be responsible for all City plan check, map check and inspection costs. The developer shall deposit funds with the City upon the initiation of plan check services. The amount of the initial deposit shall be determined by the City Engineer. Additional funds may be required based upon actual plan check and inspection costs.
35. All utility services to the new property shall be placed underground.
36. Unless otherwise explicitly permitted, all existing wells, septic tanks and/or underground fuel storage tanks shall be abandoned under permit and inspection of Glenn County Department of Health Services or other designated agency. If there are none, the project engineer shall provide a letter describing the scope of the search done to make this determination.
37. The applicant shall post surety bonds in the amount of 100% of the work within any public right away prior to the approval of the improvement plans. Surety for the improvements shall remain until improvements have been accepted by the City. A maintenance bond for 10% of the value of the improvement shall be posted upon acceptance of the improvements and shall last for 1 year from the date of acceptance. The Maintenance Bond shall be released after 1 year if the improvements are in acceptable condition at the end of the year. If any corrections are needed to the improvements, the applicant shall be responsible to complete any correction to the City's satisfaction. Said improvements must be acceptable to the City prior to the release of the maintenance bond.
38. The improvement plans shall show the demolition of the existing car port.

### **Improvement Plan and Construction Conditions:**

39. Improvement plans shall be prepared and submitted by a California Registered Civil Engineer for the construction of all necessary and required on-site and off-site improvements including grading, water, sanitary sewer, storm drain facilities, roadway improvements, curbs, gutters and sidewalks,. All design and construction shall conform to the City of Willows Design and Construction Standards, as applicable.

40. A detailed Soils Investigation/Geotechnical Report shall be prepared and submitted for review. The report shall address, at a minimum, potential for liquefaction, expansive soils and seismic risk. The improvement plans shall incorporate all design and construction criteria recommended in the Geotechnical Report.
41. Improvements plans shall include a storm water pollution prevention plan. Erosion control measures shall be in place between October 15 and April 15, and as may otherwise be required by the City if significant inclement weather occurs outside of this timeframe.

**42. Roadway Improvements:**

- a. The applicant shall be responsible for replacement of any existing curb, gutter and sidewalk that is in poor condition (cracked, displaced, etc.) as determined by the City Engineer, along the property frontage on N. Plumas Street. Additionally, the existing driveway cut in front of the accessible ramp into the building shall be removed and replaced with City Standard sidewalk, curb and gutter. All improvements for replacement of curb, gutter and sidewalk shall be shown on the improvement plans.
- b. With the improvement plans, the applicant shall submit a reciprocating access agreement between the two parcels. The agreement is subject to review by the City and shall in recordable format. The agreement shall be recorded simultaneously with the lot line adjustment and prior to the issuance of the building permit for the property.
- c. The existing driveway entrance off of N. Plumas Street shall be a minimum of 12 feet in width and be constructed per City Standard S-4. If the driveway is to remain, it shall be signed and striped to be a one way driveway (entering from N. Plumas.) If the existing driveway is not 12 feet wide and cannot be widened to meet City Standards (with the closest edge of the driveway to the intersection with Wood Street being a minimum of 20 feet from the driveway to the beginning of the curb return at the corner), the driveway shall be removed and internal parking and site layout shall be modified such that it meets the required number of parking stalls per City Standards. All driveway improvements shall be shown on the improvement plans.
- d. The existing driveway on Wood shall be removed and replaced with a driveway that meets City Standard S-4. If the sidewalk needs to move out of the existing right-of-way to accommodate pedestrians and meet ADA requirements, a pedestrian access easement shall be dedicated to the City by separate document. Said easement must be review and approved by the City, and recorded prior to approval of the improvement plans. The driveway shall be located such that it does not overlap or conflict with the proposed disabled parking stall proposed at the front of the property. All improvements for driveway modifications shall be shown on the improvement plans.

- e. The applicant shall be responsible for reconstruction of the pedestrian ramp at the corner of N. Plumas Street and Wood Street to bring the ramp up to current ADA standards. If additional right-of-way or an easement is needed to bring the ramp into conformance with ADA standards, the applicant shall provide a deed to the City for review and approval showing the right-of-way or easement dedication. Recordation of any additional right-of-way or easement shall be done prior to approval of the improvement plans for the project. All improvements for replacement of pedestrian ramp shall be shown on the improvement plans.
- f. The proposed improvements shown on the preliminary site plan appears that they will conflict with existing alleyway improvements. The applicant shall be responsible for realignment of the existing alleyway along the property's frontage within the existing right-of-way and provide similar width and material (Class 2 aggregate base with a minimum thickness of 12-inches, or matching existing thickness, whichever is greater), compacted to 95% relative compaction. Relocation of the existing alley improvements may cause the need for a realigned driveway from the alley onto Wood Street. The applicant shall be responsible for relocating this driveway, if needed. All improvements associated with alleyway improvements shall be shown on the improvement plans.
- g. The site improvements associated with the project shall provide adequate site distance at the intersection of the existing alleyway and Wood Street. The applicant shall be required to demonstrate site distance requirements on the improvement plans. Additionally, the existing STOP sign at the alleyway and Wood Street shall be relocated and shown on the improvement plans for the project.
- h. Prior to the approval of the improvement plans, the applicant shall complete and record the proposed Lot Line Adjustment for the property.

**43. Water and Sanitary Sewer Improvements:**

- a. The existing sewer lateral to the existing building shall be relocated so as to not be under the proposed new building. The new alignment of the sewer lateral serving the existing building shall be constructed in a 10-foot wide easement. The easement shall be provided by separate document to the City for review and be recorded after the lot line adjustment and prior to the issuance of a building permit for the project. The relocation of the sewer later, along with the new lateral for the new building, shall be shown on the improvement plans for the project. Sewer lateral construction shall be per the City Standards and per the Building Code. The existing sewer lateral shall either be completely removed or shall be abandoned in place and backfilled with slurry. The existing sewer lateral to be abandoned shall be disconnected at the sewer main in the alley and the "wye" in the main shall be removed and replaced with solid pipe.
- b. Sewer grades must be designed such that ultimate finished floor of the proposed structure is above the closest upstream sewer manhole or clean-out rim elevations.

This is needed to ensure that if there is a backup in the sewer main, overflow will not occur in the building. Inadequate elevation differentials or grade on private laterals, as determined by the City, must be mitigated by either raising finished floor elevation(s) or installing privately owned and operated sewer lift station(s) with grinder/ejector pump(s) on site.

- c. The applicant shall be responsible to pay the necessary fees and obtain water service from California Water Company. Evidence of obtaining a permit for the water service shall be provided to the City prior to the issuance of a building permit. Water service improvements shall be shown on the improvement plans.

#### **44. Drainage Improvements**

- a. All project related flooding impacts shall be mitigated by the project developer. Drainage improvements shall be designed in accordance with the Design Criteria utilizing the rationale method and any applicable adopted City drainage plans.

The applicant shall submit for review and approval, drainage plans and hydraulic calculations prepared by a Registered Civil Engineer. The drainage plans and calculations shall indicate the following conditions before and after development:

The applicant shall submit for review and approval, drainage plans and hydraulic calculations prepared by a Registered Civil Engineer. The drainage plans and calculations shall indicate the following conditions before and after development.

- b. Post-development off-site flows shall not exceed pre-development flows. If onsite detention of storm water is proposed, all information relating to the detention facilities shall be included in the drainage calculations that clearly indicate that post project flows will not exceed pre-development flows.

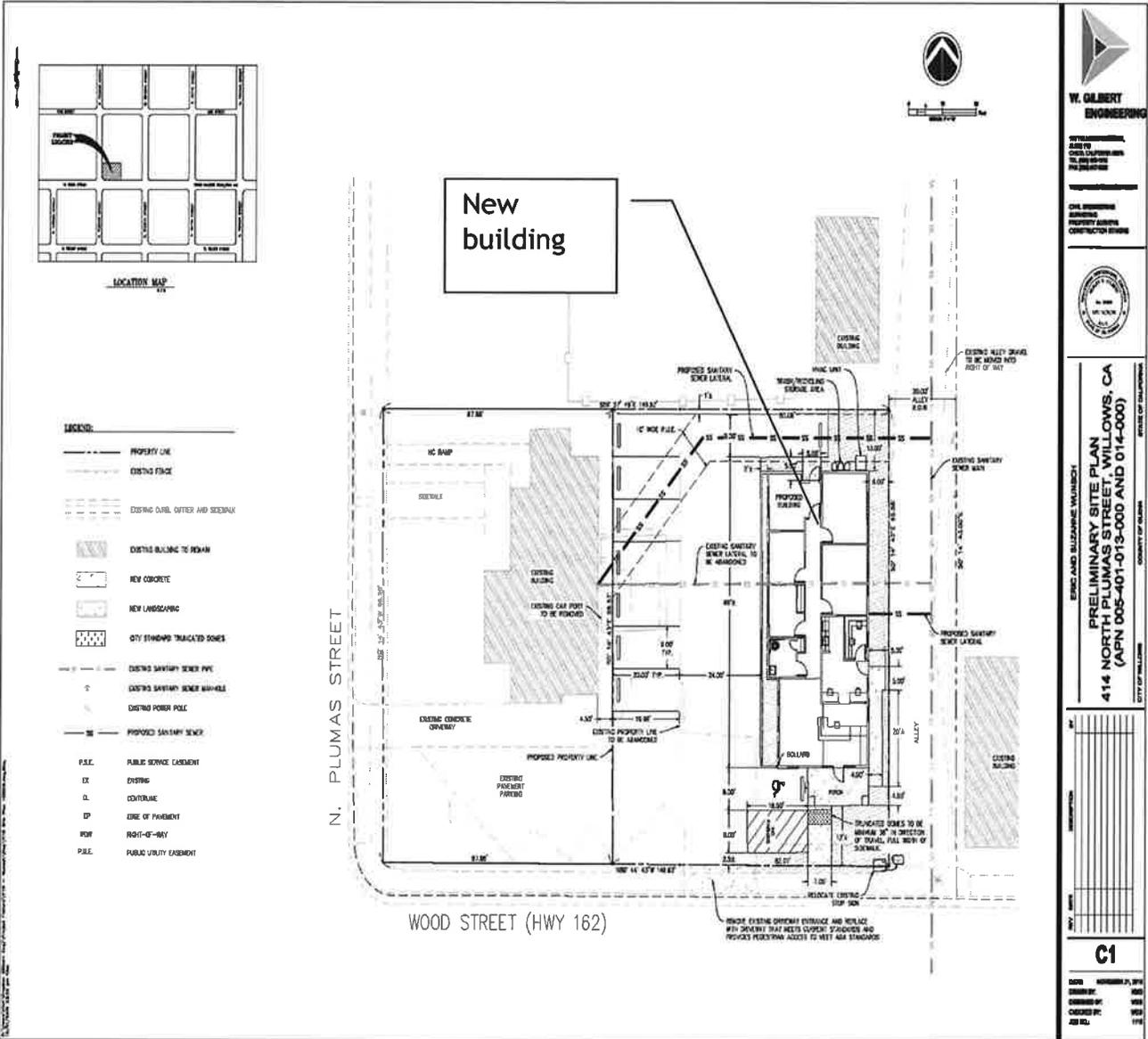
#### **Construction Conditions:**

45. No grading or other construction shall be performed until the improvement plans have been approved and signed by the City Engineer. Encroachment Permits and Building Permits will not be issued prior to the approval of the improvement plans. A City Encroachment Permit is required for any work on N. Plumas Street and the alleyway and a Caltrans Encroachment Permit is needed for any work within the Wood Street right-of-way. Evidence of obtaining the Caltrans encroachment permit shall be provided to the City prior to beginning any construction on the project.
46. The applicant shall keep adjoining public streets free and clean of project dirt, mud, materials, and debris during the construction period, as is found necessary by the City Engineer.
47. If any hazardous waste is encountered during the construction of this project, all work shall be immediately stopped and the Glenn County Environmental Health Department, the Fire

Department, the Police Department, and the City Inspector shall be notified immediately. Work shall not proceed until clearance has been issued by all of these agencies.

48. Where soil or geologic conditions encountered in grading operations are different from that anticipated in the soil and/or geologic investigation report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted for approval by the City Engineer. It shall be accompanied by an engineering and geological opinion as to the safety of the site from hazards of settlement, and seismic activity. Additionally, if field conditions warrant installation of any sub-drains, the location, size and construction details must be provided to the City for review and approval prior to construction.
49. All streets, curbs, gutters, sidewalks or other public facilities damage in the course of construction associated with this project shall be the responsibility of the applicant and shall be repaired to the satisfaction of the City at the applicant's expense.
50. Dust control must be maintained to the City's satisfaction.
51. Working hours shall be restricted to the hours of 7:00 a.m. to 6 p.m., Monday through Friday, unless approved by the City Manager.
52. All improvements shown on the Improvement Plans shall be completed and accepted by the City prior to the release of any surety. This includes completion of all punch-list work and payment of any outstanding inspection fees or other charges.
53. A complete set of *As-Built* or Record improvement plans showing all substantial changes from the original plans shall be certified by the Civil Engineer of record and submitted to the City Engineer prior to acceptance of the public improvements.

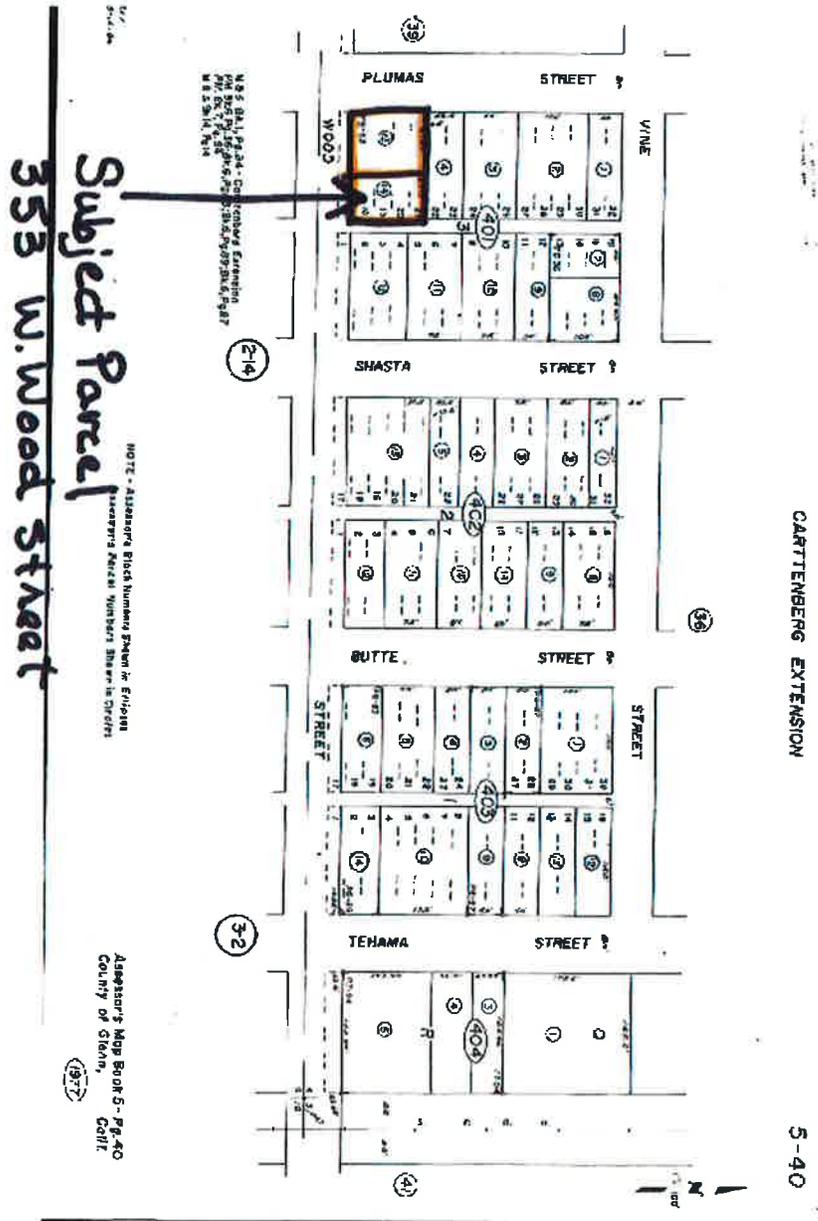
Site Plan



Proposed Building Elevations



APN MAP



353 W. Wood Street  
**Subject Parcel**

NOTE - Assessor's Block Numbering Plan is Effective  
 Assessor's Block Numbering Plan is Effective

Assessor's Map Book 5 - Pg. 40  
 County of Glenn, Calif.  
 1977

CATTENBERG EXTENSION

S-40

**Planning Commission Agenda Report:****December 14, 2016**

Project: Design Review (File #UP-16-10) /Request to place solar panels onto an existing commercial building  
 Applicant(s)/Owner: Suresh Patel/B&S Hospitality Inc.  
 Project Location: 475 N. Humboldt Avenue  
 Parcel No: 017-330-022  
 Zoning: CH (Highway Commercial District)  
 General Plan Highway Commercial

**Project Description**

The applicant, Alternative Energy Systems Inc, on behalf of Suresh Patel, has submitted a Design Review Planning application for Commission review and approval to install a flush roof mounted photovoltaic solar system and update the electrical equipment as needed, onto the south side of the roof of the existing commercial building (Best Western Motel). The proposal is to use a 196 Sunpower SPR-327 COM module system and 2 SMA three phase inverters for the project.

**Review Process**

This matter is before the Planning Commission pursuant to Chapter 2.45.030 of the City of Willows Municipal Code.

**Zoning/ General Plan Consistency**

The project site is zoned Highway Commercial (CH), which allows motels/hotels as a permitted use. Zoning to the north, south are the same as the project site. Zoning to the east is R-3 and Interstate 5 is west of the site.

The General Plan Land Use designation for this site is Highway Commercial pursuant to the City's General Plan Land Use Map. The designation provides for commercial uses that primarily serve the travelers at Interstate 5 access points.

**Project Analysis for Design Review (pursuant to Section 2.45.060)**

**Relationship between Structures within the Development and between Structures and Site:** The proposal is to install solar panels onto the west roof of an existing commercial building which project will not have any effect to the site.

**Relationship between Development and Neighborhood:** The proposed project would not be out of character for the neighborhood, as there are other solar unit systems within the vicinity. The City guidelines for solar access to adjacent property states that to protect solar options on adjacent properties, projects should be designed to maintain solar access to a roof area equivalent to a minimum of 20 percent of the total floor area of each building on adjacent properties. This project meets this guideline per the Building Department.

**Drives, Parking and Circulation:** This project does not affect the driveway, parking or circulation of the business.

The project was reviewed internally by City departments for comments/conditions which are reflected in the attached proposed conditions of approval.



### **Environmental Review and Analysis**

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA). Staff has determined that the proposal is exempt from further CEQA pursuant to CEQA Code Section 15311, Class 11 Accessory Structures.

### **STAFF RECOMMENDATION:**

Staff recommends adoption of the attached resolution recommending Design Review approval for Suresh Patel to install a roof mounted solar system onto the Best Western Motel, subject to the conditions of approval as shown in Attachment #2 and elevation plan Attachment#4.

### **PLANNING COMMISSION OPTIONS:**

- 1) Approve the Design Review application proposal as submitted, approve with modifications subject to Conditions of Approval as described in Attachment 2
- 2) Deny the Design Review application with appropriate findings for denial

### **Attachments:**

1. Draft Planning Commission Resolution
2. Proposed Conditions of Approval
3. Applicant letter
4. Solar elevation plan

Submitted by:

Karen Mantele  
Principal Planner

PC RESOLUTION NO. \_\_\_\_\_-2016

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS GRANTING DESIGN REVIEW APPROVAL (FILE # DR-16-10) TO SURESH PATEL FOR THE INSTALLATION OF A FLUSH ROOF-MOUNTED SOLAR SYSTEM ONTO THE BEST WESTERN MOTEL FOR PROPERTY LOCATED AT 475 N. HUMBOLDT AVENUE ASSESSORS PARCEL NUMBER 017-330-022**

WHEREAS, the applicant, Alternative Energy System Inc, on behalf of Suresh Patel has filed a Planning application for Design Review approval to allow installation of solar panels onto the roof of the existing Best Western Motel, and,

WHEREAS, per Section 2.45.030(1), physical improvements to existing commercial structures require Design Review approval prior to installation; and

WHEREAS, the Planning Commission did, on December 14, 2016, hold a public hearing to consider the application, all public oral and written comments, letters and documents, staff reports, and all other documents and evidence which are a part of the Record of proceedings; and

WHEREAS, the Planning Commission finds that the proposal is considered exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 Existing Facilities, Class 1.

NOW THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Willows does hereby find that the Design Review proposal to install solar panels to the roof of the Best Western Motel is consistent with the City of Willows General Plan, the City of Willows Municipal Code, and hereby approves Design Review (File#DR-16-10), subject to the attached conditions of approval set forth in Attachment #2 and elevations as shown on Attachment 4.

IT IS HEREBY CERTIFIED that the foregoing Resolution was duly adopted at a regular meeting of the Planning Commission of the City of Willows on Wednesday, the 16<sup>h</sup> day of December, 2016, by the following vote, to wit:

AYES \_\_\_\_\_  
NOES \_\_\_\_\_  
ABSTAIN \_\_\_\_\_  
ABSENT \_\_\_\_\_

APPROVED: \_\_\_\_\_  
Peggy White, Chairperson

ATTEST: \_\_\_\_\_  
Maria Ehorn, Recording Secretary

**DESIGN REVIEW CONDITIONS OF APPROVAL**  
**Best Western Motel Solar Project**  
**For property located at**  
**475 N. Humboldt Avenue/APN; 017-330-022**

**PC approval date: \_\_\_\_\_, 2016**

**General**

1. That the applicant/developer shall enter into a Pass Through Agreement with the City of Willows to pay the cost of all planning review, plan checking and field inspection of this development.
2. The approval of this project shall be subject to the latest adopted Ordinances, Resolutions, Policies and fees of the City of Willows.
3. The developer shall adhere to the design and specification of the Architectural Design Review approval for the installation of solar panels to the roof of the Best Western Motel.
4. The Architectural Design Review approval shall expire in one year unless otherwise stipulated by the Planning Commission. The applicant may apply to the Building Official for an extension of not more than one year from the original date of expiration, if he finds that there has been no substantial change in the factual circumstances surrounding the originally approved design. Substantial changes and any further extension beyond one year shall require Planning Commission approval.
5. Any debris as a result of the project shall be disposed of properly to an approved waste disposal site.
6. Dust prevention must be emphasized to avoid unnecessary annoyance to persons living or working in the area. Working hours shall be restricted to the hours of 7:00 a.m. to 6 p.m., Monday through Friday unless approved by the City Manager.
7. All contractors/sub-contractors shall obtain a City business license prior to commencing operation. (Contact Finance Department).
8. The approval of this project shall be subject to the latest adopted Ordinances, Resolutions, Policies and fees of the City of Willows.

**Building Department.**

9. The structural connection of the new sign cabinet to the top of the pole shall be engineered.
10. The increased sign size will require an analysis of the existing pole and footings.
11. Submit 3 complete sets of plans and structural calculations along with a completed building permit application.

12. Applicant shall comply with Code Section 18.125.100 Inspection and maintenance.

APPLICANT LETTER



November 3, 2016

AES  
P.O. Box 9231  
Chico, CA 95927

Re: Structural capacity of existing roof to support new solar panels  
Owner: Best Western Willows Inn  
Location: 475 N Humboldt Avenue, Willows, CA 95618 APN: 017-336-023  
Streamline Job No.: 2533

To Whom It May Concern:

Per this letter we are approving the existing roof framing as shown on the plans prepared by Alternative Energy Systems (AES) dated 10-27-2016 to support the addition of new solar panels. The building is framed as follows:

The building is approximately 193' x 63' with a wood framed roof and wood framed walls. The roof system is comprised of tile roofing over plywood roof sheathing over manufactured trusses @ 24" o.c. supported by wood framed bearing walls on conventional footings.

The new Sunpower 327 watt solar panels will be placed on Unirac SM-Light Rail framing as shown on plans prepared by AES. The solar panels, and support framing are designed by others to resist all loads required by the 2013 CBC and any other loading required by the owner for site specific elements that could affect the loading of the roof. The total weight of the new system is less than 3 psf as shown on mfg's specifications. Water-proofing is by others at all locations.

The original roof system is designed to support a live load of 20 psf. The area covered with new solar panels will not be loaded with the 20 psf live load as designed for in the original roof. So the 20 psf live load is replaced by a 3.0 psf dead load. So the original design loading will be reduced by a 17 psf in areas with new panels. Based on the reduction in design loading we are approving the addition of solar panels to the roof. It was not in the scope of our work to analyze the lateral capacity of the building.

Note that we are assuming the roof framing is installed per plans prepared by others and that the framing is intact and free from structural damage. It was not within our scope of work to inspect the existing framing for damage or to insure that it was installed per plan. These findings are based on my professional opinion and are not intended as a warranty of any kind. Please contact me if you have any questions at 530-892-1100.

Sincerely,

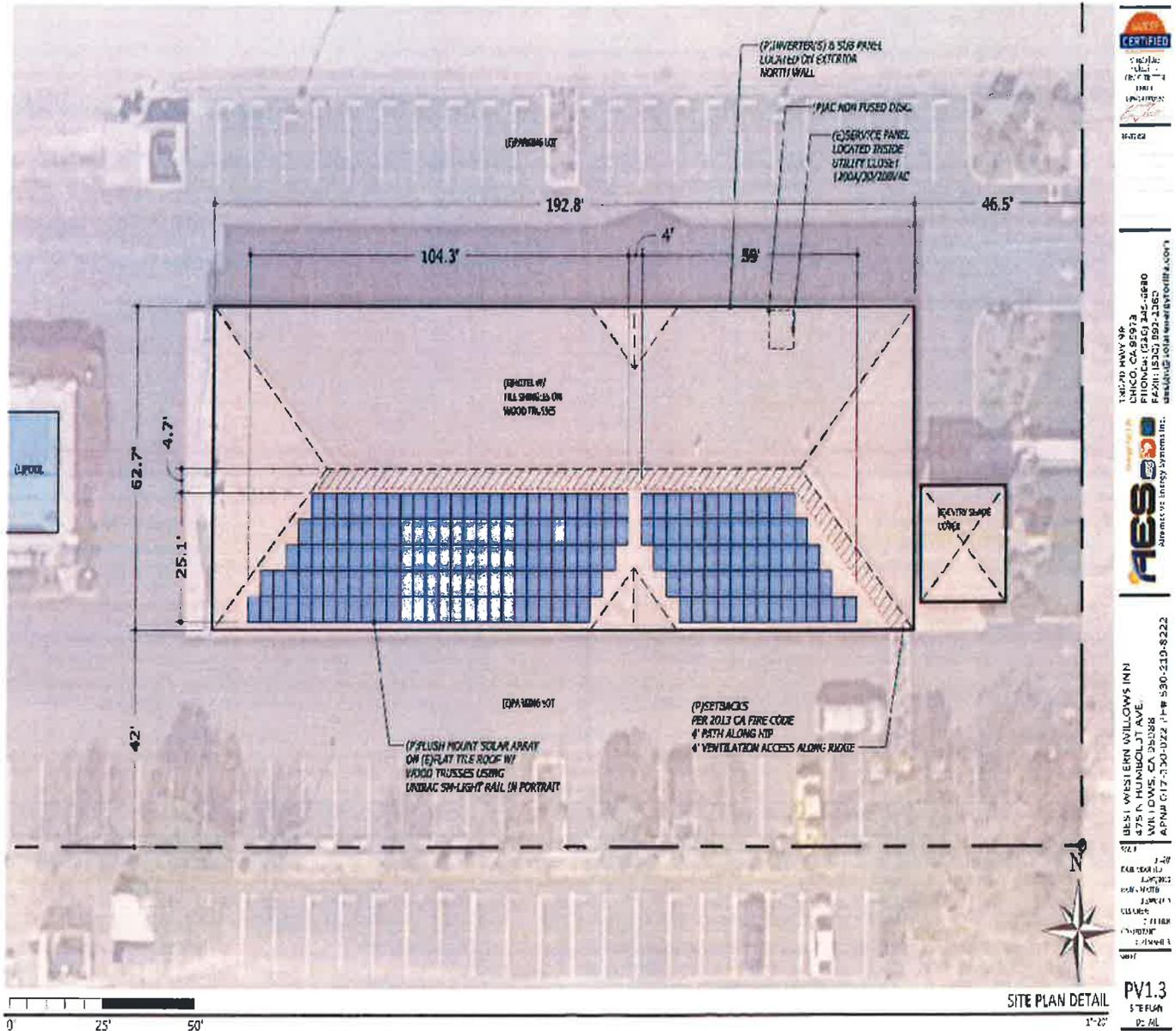
Jeff Richelieu, PE  
President, Streamline Engineering, Inc.



Page 1 of 1

60 Independence Cir., Ste. 201 • Chico, CA 95973 • (530) 892-1100 • Fax: 892-1115

SOLAR ROOF ELEVATION



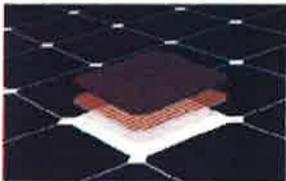


### HIGH PERFORMANCE & EXCELLENT RELIABILITY



E20 327 PANELS

- **20.4% efficiency**  
Captures more sunlight and generates more power than conventional panels.
- **High performance**  
Delivers excellent performance in real world conditions, such as high temperatures, cold and low light.<sup>1, 2, 3</sup>
- **Commercial grade**  
Optimized to maximize return and energy production, the E-Series panel is a bankable solution for commercial solar applications.



**Maxeon® Solar Cells: Fundamentally better.** Engineered for performance, designed for reliability.

**Engineered for peace of mind**  
Designed to deliver consistent, trouble-free energy over a very long lifetime.<sup>4, 6</sup>

**Designed for reliability**  
The SunPower® Maxeon Solar Cell is the only cell built on a solid copper foundation. Truly impervious to the corrosion and cracking that plague conventional panels.<sup>4, 6</sup>

**#1 Ranked in Four-hr durability test.<sup>10</sup>**  
**100% power maintenance in Arab 25<sup>1</sup>**  
**comprehensive PID/Circularity test.<sup>11</sup>**

### HIGHER EFFICIENCY<sup>1</sup>

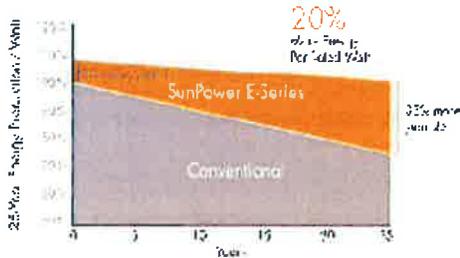
Generate more energy per square foot

E-Series commercial panels convert more sunlight to electricity producing 36% more power per panel,<sup>1</sup> and 60% more energy per square foot over 25 years.<sup>4, 4</sup>

### HIGH ENERGY PRODUCTION<sup>2</sup>

Produce more energy per rated watt

More energy to offset your operations. High year one performance delivers 7.9% more energy per rated watt.<sup>2</sup> This advantage increases over time, producing 20% more energy over the first 25 years to meet your needs.<sup>4</sup>



[sunpowercorp.com](http://sunpowercorp.com)

**Planning Commission Agenda Report:****December 14, 2016**

Project: Use Permit (File# UP-16-07) Request to modify the Planned Sign Program for a commercial building

Applicant(s)/Owner: Ben & Rae Ann Titus/same

Project Location: 311 N. Butte Street

Parcel No: 002-142-009

Zoning: Central Commercial (CC)

General Plan: General Commercial

**Project Description:**

The applicants have submitted a planning application for a Use Permit to establish a Planned Sign Program for an existing 18,000 square foot commercial building located on the corner of N. Butte Street and W. Willow Street. The goal is to bring continuity to the signage for future tenants to the building via a Planned Sign Program. Currently there are five tenants in the building.

**Review Process:**

This matter is before the Planning Commission pursuant to Section 18.125.200 Comprehensive Sign Law of the Municipal Code.

**Background**

In 2014 the applicant went before the Planning Commission with a Use Permit to establish a Master Sign Program for the multi-tenant commercial building they have owned at the corner of Butte and Willow Street for 12 years. At that time the Commission approved one of the exhibits submitted for review. Since that time the applicants have had a couple of changes in their tenants and as a result signage has come up when they want to install business signage. It appears that the approved Master Sign Program currently in place is cost prohibitive for these new tenants; therefore the property owners desire to change the Program to one that will not be so costly to conform to.

**Zoning/General Plan:**

The project site is zoned Central Commercial (CC). Zoning to the north, south, east and west are the same as the project site. All of the surrounding uses are commercial in nature. The General Plan Land Use Designation for this parcel is General Commercial, which allows for service related businesses.

**Use Permit Discussion:**

Section 18.125.200 states, that a Planned Sign Program, with Planning Commission review through a Use Permit process, is required for all multi-tenant facilities or any signage program proposing an aggregate sign area exceeding 50 square feet. The subject building is an 18,000 square foot commercial building which currently houses five tenants, with expected future tenants in the current remodeled portion of the building. (*Northern Valley Indian Health, JA Furniture, Prevention Education, RPM Wholesale Auto and H&R Block*)

The subject building sits on a major corner of the downtown (Willows St and Butte St.) and has suite frontage on both street sides. The applicants are proposing in the future to do more tenant improvements for the northwestern portion of their building which will result in the need for more business signage. The goal is to adopt a Planned Sign Program that would be aesthetically pleasing and functional for the commercial complex. The proposal is to have all signs be wooden painted signs, affixed above the suite.

The two existing sign cabinets that are located on the upper corner of the building at Butte and Willow Street are being used to display the name of the commercial complex. (*Butte Street Plaza*).



As this parcel is located within the Downtown Business District and within the Downtown Design Guidelines, signage is subject to the guidelines. The criteria set forth within the guidelines states that all signs should relate proportionately in placement and size to other building elements, and sign style and color should complement the building façade. The criteria further states that the wording of signs should be limited to the occupant's names and/or company logo and should not include advertising or services rendered. Words describing the type of commercial use are permitted. The property owners would provide the frame and the tenant would place in the wood insert with their business name.

### **Environmental Review and Analysis**

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA). City staff has determined that the proposal is exempt from further CEQA pursuant to CEQA Section 15301, Class 1, Existing Facilities

In accordance with Section 18.135.030 notice of this public hearing was published in the local newspaper ten (10) days prior to the public hearing and all property owners as indicated on the latest secured Assessor's records within 400 feet of the subject property were sent notice of the hearing. As of the date of preparation of this report no written public comments have been received.

### **Staff Recommendation:**

Staff recommends adoption of the attached resolution recommending Use Permit approval for Ben & Rae Ann Titus to modify the Planned Sign Program for property located at 311 N. Butte Street, Assessors Parcel Number 002-142-009, subject to the conditions of approval as shown in Attachment #2, and the Master Sign Program, Attachment #4.



**Planning Commission Options:**

1. Adopt the Resolution approving the Use Permit application with proposed conditions
2. Deny the Use Permit application with findings for denial

**Attachments:**

1. Draft Planning Commission Resolution
2. Proposed Conditions of Approval
3. Floor Plan for 311 N Butte Street
4. Planned Sign Program
5. Wooden Sign Samples

Submitted by:

Karen Mantele  
Principal Planner

**THE APPLICANT IS REMINDED THAT THERE IS A 10 (TEN) DAY APPEAL PERIOD FOLLOWING  
THE PLANNING COMMISSION DECISION ON THE USE PERMIT PURSUANT TO Chapter  
18.135.060**

PC RESOLUTION NO. \_\_\_\_\_-2016

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS GRANTING A USE PERMIT (FILE# UP-16-07) TO BEN & RAE ANN TITUS TO MODIFY THE MASTER SIGN PROGRAM FOR AN EXISTING 18,000 SF COMMERCIAL BUILDING FOR PROPERTY LOCATED AT 311 N. BUTTE STREET, ASSESSORS PARCEL NUMBER 002-142-009**

**WHEREAS**, the applicants, Ben & Rae Ann Titus have filed for Use Permit approval to modify the Planned Sign Program for an existing commercial building; and,

**WHEREAS**, City of Willows Municipal Code Section 18.125.200 states a planned sign program is required for all multi-tenant facilities or any signage program proposing an aggregate sign area exceeding 50 square feet and subject to Use Permit approval by the Planning Commission, and,

**WHEREAS**, the Planning Commission did, on December 14, 2016, hold a public hearing to consider all public oral and written comments, letters and documents, staff reports, and all other documents and evidence which are a part of the Record; and,

**WHEREAS**, notice of the Planning Commission meeting held on December 14, 2016, was published in a newspaper of general circulation in the City in accordance with law, and mailing to property owners within 400 feet were sent; and

**WHEREAS**, the Planning Commission has reviewed all evidence submitted in connection with the application, including public testimony, staff report, supporting documentation, City codes and regulations, and all other relevant documents and evidence which are part of the record of proceedings; and,

**WHEREAS**, the Planning Commission finds that the proposal is considered exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, Class 1, Existing Facilities; and

**WHEREAS**, the Planning Commission finds the proposed sign program is consistent with the goals, objectives, policies and programs of the City of Willows General Plan and any applicable design guidelines; and

**WHEREAS**, the Planning Commission finds the proposed signs conform to applicable development standards and provisions of this title and will not be detrimental to the public health, safety or welfare; and

**WHEREAS**, the Planning Commission finds that the physical location or placement of the signs are compatible with the surrounding neighborhood and does not pose a safety risk.

**NOW THEREFORE, BE IT RESOLVED**, that the Planning Commission of the City of Willows does hereby find that the Use Permit proposal to establish a Master Sign Program for an existing 18,000 SF commercial building located at 311 N. Butte Street, is consistent with the City of Willows General Plan, the City of Willows Municipal Code, and hereby approves Use Permit file# UP-16-07, subject to the attached conditions of approval set forth in Attachment #2 and Master Sign Program Attachment #4.

**IT IS HEREBY CERTIFIED** that the foregoing Resolution was duly adopted at a regular meeting of the Planning Commission of the City of Willows on Wednesday, the 14<sup>th</sup> day of December, 2016, by the following vote, to wit:

AYES \_\_\_\_\_

NOES \_\_\_\_\_

ABSTAIN \_\_\_\_\_

ABSENT \_\_\_\_\_

APPROVED: \_\_\_\_\_  
Peggy White, Chairperson

ATTEST: \_\_\_\_\_  
Maria Ehorn, Recording Secretary

**USE PERMIT CONDITIONS OF APPROVAL FOR  
BEN & RAE ANN TITUS/PLANNED SIGN PROGRAM  
FOR PROPERTY LOCATED AT 311 N. BUTTE STREET  
APN; 002-142-009**

**PC approval date: \_\_\_\_\_,2016**

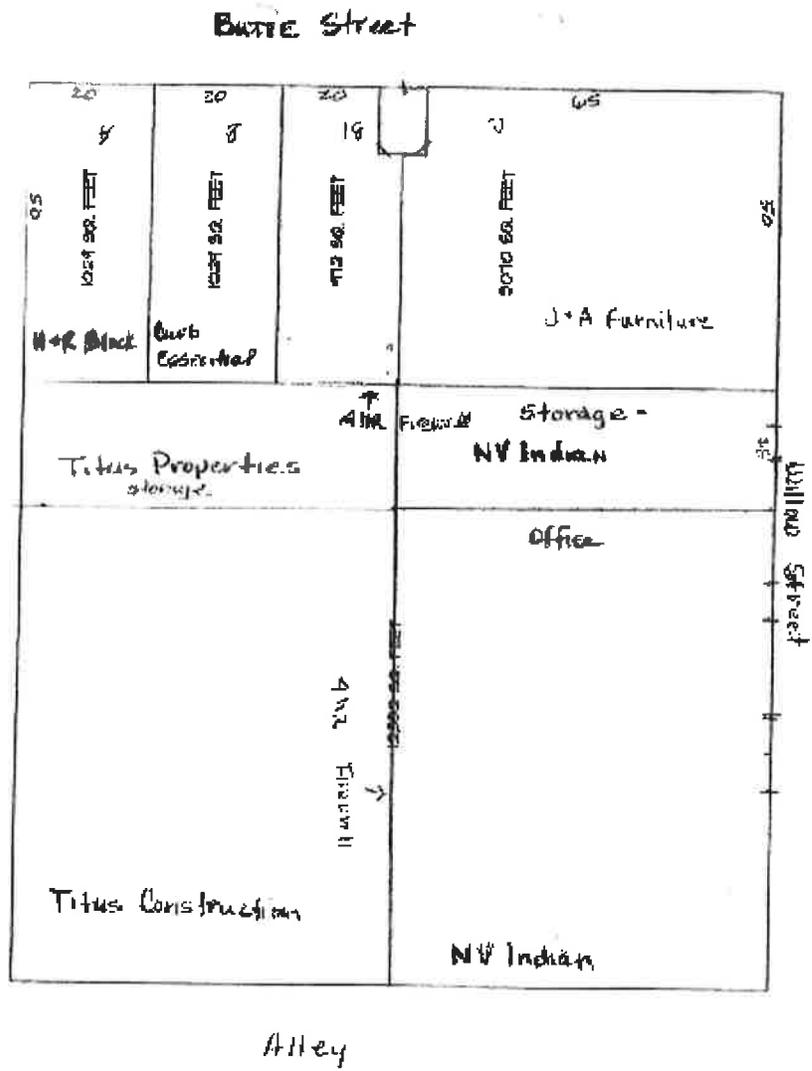
**General**

1. That the applicant/developer shall enter into a Pass Through Agreement with the City of Willows to pay the cost of all planning review, plan checking and field inspection of this development.
2. The approval of this project shall be subject to the latest adopted Ordinances, Resolutions, Policies and fees of the City of Willows.
3. All future signs for this commercial building shall apply for and obtain City approval prior to installation per the Comprehensive Sign Law.
4. Any and all exterior lighting to be used for signage shall be installed shall be designed and to meet safety requirements and minimize glare onto adjacent property or residential areas. All lighting must meet the City Standards. All building mounted and site lighting shall be shielded lights, down lights, and or full cut off lights so that the bulb is not visible from off-site and light does not create glare or hazard onto adjoining properties/streets.

**Fire Department**

5. Signage to meet Willows Municipal Code Section 15.15.100 Premises Identification.
6. All suites shall be identified by illuminated numbers above the door to suite.

FLOOR PLAN



**BUTTE STREET PLAZA  
311 NORTH BUTTE STREET**

**MASTER PLANNED SIGN CRITERIA PROGRAM**

**I. Purpose & Intent**

- a. This sign criteria program has been established for the purpose of maintaining a continuity of quality and aesthetics throughout the complex for the mutual benefit of all tenants and to comply with the regulations of the City of Willows.
- b. The intent of this sign criteria is to offer the tenant design flexibility and to incorporate common design elements that will enhance the building. The signs specified will offer optimal tenant identity when designed in conformance with the design standards.
- c. Conformance will be strictly enforced, and any installed non-conformance or unapproved signs will be removed at the tenants' expense.

**II. General Requirements**

- a. Prior to fabrication or applying for City approvals, each tenant shall submit to the Landlord, for written approval, three copies of detailed shop drawings (1 in full color) indicating the location, size, layout, design, color, illumination, materials and method of attachment.
- b. All signs shall be reviewed by the Landlord for conformance with sign criteria. Approval or disapproval of sign submittals shall remain the sole and absolute right of the Landlord.
- c. All permits and fees for signs and their installation shall be obtained by the Tenant or its representative.
- d. All signs shall be constructed at the Tenants' expense.
- e. Tenants shall be responsible for the installation and maintenance of the sign(s). Should Tenants sign require maintenance or repair, Landlord shall give Tenant 30 (thirty) day written notice to affect the maintenance of repair. Should tenant fail to do so, Landlord shall undertake repairs and Tenant shall reimburse Landlord within ten (10) days from receipt of notice.

**III. Style**

- a. Tenant sign shall be painted wooden signs prepared by a licensed sign company.
- b. If the Tenant does not have an established exterior sign identity, the style of lettering shall be similar to Rockwell extra bold for the business name and Forte font for the address/suite number.

**IV. Construction Requirements**

- a. All painted signs are to be fabricated using quality wood and painted with a high end paint.
- b. All sign bolts, fastenings and clips shall be hot dipped galvanized iron, stainless steel, aluminum, brass, bronze, nickel, or cadmium plated. No black iron materials of any type will be permitted.
- c. All signs and their installation must comply with the local building and electrical codes and bear a UL label and manufactures label.

**V. Installation**

- a. All signs will be inspected by the Landlord's approved superintendent for conformance.
- b. Tenant's sign contractor shall completely install and connect the sign display.
- c. The sign contractor shall repair any damage to the building caused by his work. All penetrations of the building shall be neatly sealed in watertight condition and shall be patched the adjacent

finish to Landlords satisfaction. Damage to the building that is not repaired by the sign contractor shall be corrected at Tenant's expense.

**VI. Location**

- a. All signs shall be centered fascia vertically and horizontally as detailed in drawings submitted.

**VII. Guarantee**

- a. The entire sign display will be guaranteed for one year against defects and material and workmanship. Defective parts shall be replaced.

**VII. Insurance**

- a. The Sign Company shall carry workmen's compensation and public liability insurance against all damaged suffered or done to any and all persons and/or property while engaged in the construction or installation of signs in the amount of \$1,000,000 per occurrence.

**VIII. Size and Length of Sign**

- a. Each tenant will be allowed one sign above their suite facing the street (Butte or Willow).
- b. No sign shall be allowed to exceed 80% leased frontage.

**IV. Sign Copy**

- a. Wording of sign shall not include the product sold except as part of Tenant's name, insignia or logo.

**X. Color**

- a. Variations of color from one Tenant to another is encouraged. All letters of the sign shall be one color.
- b. Logo colors may differ from the sign colors.
- c. Trim and caps to be dark bronze.

**XI. Logos**

- a. Each tenant will be permitted to display one (1) logo subject to the Landlord's approval. The logo area shall be included within the sign area limitation. The logo shall be defined as a graphic symbol with construction as required for Tenants' channel letters.

**XII. Expiration of Lease Term**

- a. At the expiration or sooner termination of Tenants' lease term, Tenant shall remove its sign(s), patch and paint the sign fascia to match the adjacent finish to the Landlord's satisfaction.

WOODEN SIGN SAMPLES



