

PLANNING COMMISSION

Candis Woods, Chair
Kerri Warren, Vice Chair
Amy Alves, Commissioner
Huston Carlyle, Commissioner
Larry Domenighini, Commissioner

CITY PLANNER
Karen Mantele

MINUTE CLERK



201 North Lassen Street
Willows, CA 95988
530) 934-7041

PLANNING COMMISSION MEETING AGENDA

Wednesday, July 18, 2012
7:00 p.m.

1. **Call to Order - 7:00 p.m.**
2. **Pledge of Allegiance**
3. **Roll Call**
4. **Agenda Review:** (Requested Changes by Commissioners or Staff?)
5. **Public Comment:** Persons wishing to speak on a matter *not on the agenda* may be heard at this time; however, no action will be taken unless placed on a future agenda. (***Public Comments are generally restricted to three minutes.***)
6. **Approval of Minutes:** None
7. **New Business/Public Hearing-** Persons wishing to speak are asked to approach the microphone to address the Commission. Although not required, it is requested that you please state your name for the record.
 - a. **Use Permit -File #UP-12-02** - Applicant/Owner: Carissa Gokay/Plaza De las Americas Rancho
Assessors Parcel Number 003-044-005; 130 N. Butte Street, Suite K Street: Central Commercial/zoning district; General Commercial land use designation

Carissa Gokay, has requested approval of a Use Permit to allow establishment of an exercise studio to be located within an existing commercial building on the subject property.
 - b. **Design Review File #DR-12-01** Applicant/Owner: Mike Kelley of The Pacific Companies/Leroy G. Robinette, etal; Assessors Parcel Number 001-061-013; 1324 & 1330 W. Sycamore Street; R-3/zoning; MFR (Multi-Family Residential), General Plan Land Use Designation.

Mike Kelley, has requested Design Review approval of a 49-unit multi-family (senior) apartment complex on the subject property
8. **Commission Commentary**

9 Adjournment:

CERTIFICATION: Pursuant to Government Code § 54954.2 (a), the agenda for this meeting was properly posted on or before July 12, 2012.

A complete agenda packet, including staff reports and back-up information, is available for public inspection during normal work hours at City Hall or the Willows Public Library at 201 North Lassen Street in Willows or on the City's website at www.cityofwillows.org. In compliance with the Americans with Disabilities Act, the City of Willows will make available to members of the public any special assistance necessary to participate in this meeting. The public should contact the City Clerk's office 934-7041 to make such a request. Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

The City of Willows is an Equal Opportunity Provider

CITY OF WILLOWS RULES OF MEETING ORDER AND DECORUM

(Adopted by the Willows City Council 6/12/2012)

PRIOR TO THE MEETING:

The Council requests that you observe the order and decorum of the Council Chamber by turning off or setting to vibrate all cellular telephones and pagers prior to entering the Chamber. It is also requested that no food or drinks (other than water in a capped bottle) be brought in the Chamber.

PUBLIC COMMENTS:

The meetings of the City Council and all municipal entities, commissions, and boards of the City of Willows ("the City") are open to the public. At regularly scheduled meetings, members of the public may address the City on any item listed on the agenda while that item is under consideration, or may address the City during the "Public Comment" portion of the meeting on any NON-LISTED matter over which the City has jurisdiction. At special or emergency meetings, members of the public may only address the City on items listed on the agenda. *Communications by individuals are generally restricted to three minutes.* The City may request speakers to designate a spokesperson to provide public input on behalf of a group, based on the number of people requesting to speak and the business of the City.

In accordance with the Brown Act, all matters to be acted on by the City at Regular Meetings must be posted at least 72 hours prior to the City meeting. In cases of an emergency, or when a subject matter needs immediate action or comes to the attention of the City subsequent to the agenda being posted, upon making certain findings, the City may act on an item that was not on the posted agenda.

AGENDA STAFF REPORTS AND HANDOUTS:

Staff reports and other disclosable public records related to open session agenda items are available at City Hall, 201 North Lassen Street, Willows, CA 95988 during regular business hours or on the City's Website at www.cityofwillows.org.

CONDUCT IN THE CITY COUNCIL CHAMBERS:

Each person who addresses the City on any item shall do so in an orderly manner and shall not make personal, impertinent, slanderous or profane remarks to any member of the Council, staff or general public which disrupts, disturbs or otherwise impedes the orderly conduct of the Meetings.

Members of the audience shall not engage in disorderly or boisterous conduct, including the utterance of loud, threatening or abusive language, clapping, whistling, stamping of feet or other acts which disturb, disrupt, impede or otherwise render the orderly conduct of the meetings infeasible. A member of the audience engaging in any such conduct shall, at the discretion of the presiding officer, a majority of the City, or the Sergeant-At-Arms be subject to ejection from the meeting per Gov. Code Sect. 54954.3(c).

Removal from the Council Chambers

Any person who commits the following acts in respect to a meeting of the City shall be removed from the Council Chambers per Gov. Code Sect. 54954.3(c).

- (a) Disorderly, contemptuous or insolent behavior toward the City or any member thereof, tending to interrupt the due and orderly course of said meeting;
- (b) A breach of the peace, boisterous conduct or violent disturbances, tending to interrupt the due and orderly course of said meeting;
- (c) Disobedience of any lawful order of the Mayor, which shall include an order to be seated or refrain from addressing the City; and
- (d) Any other unlawful interference with the due and orderly course of said meeting.

Your participation in City Meetings is always welcome and your courtesy in obeying these rules of decorum is appreciated.

Willows Planning Commission Agenda Report: July 18, 2012

Project: Use Permit (#UP-12-02) Studio FIT Fitness Studio
Applicant/Owner: Carissa Gokay/Plaza De Las Americas Rancho
Project Location: 130 N. Butte Street, Suite K, Willows, CA
Parcel No: 003-044-005
General Plan: General Commercial
Zone: Central Commercial (CC)

Project Description

Carissa Gokay has filed a Conditional Use Permit application with the City to allow establishment of a small group personal training fitness studio within an existing commercial building, which is divided into suites. The applicant will be the sole employee of the business and training sessions are by appointment only. Her project description states that in the future she would like to sell t-shirts, stickers and further advertising material, all uses which are permitted uses as they are retail sales. Proposed hours of operation are Monday through Thursday 5 am -10 am; 1 pm-3 pm, and 4:30 pm - 6:30 pm, and some Friday morning hours. No internal or external alterations are proposed with this project.

Review Process

This matter is before the Planning Commission pursuant to Chapter 18.135 of the City of Willows Municipal Code.

General Plan Consistency

The General Plan Land Use designation for this site is *General Commercial* pursuant to the City's General Plan Land Use Map. The proposed project (service related business) is consistent with this designation.

Zoning

The project site is located in the Downtown Historic District and zoned *Central Commercial (CC)*. The project is to allow an exercise studio in an existing building, which use is permitted in the zone with an approved Conditional Use Permit (per Section 18.55.030(7)). As proposed, and with conditions of approval as described in this report, the Use Permit is consistent with the zoning standards found in Chapter 18.55. Zoning to the north, south, east and west are all CC, with a mix of commercial uses surrounding the site.

Project Analysis:

Sufficient parking for the business is available off site. Willows Code Section 18.55.050(5)(b) states the Commission may waive parking requirements as sufficient on-street parking and/or public off street parking exists within reasonable walking distance. Additionally, Section 18.55.060 establishes a parking exemption for sites within the downtown area, labeled "downtown parking exemption zone", which does not require additional parking for new businesses within this zone, and applies to the proposed business, and Section 18.120.070 of the WMC allows for a parking exemption for existing uses within the downtown central business district/parking exemption district, which states in full;

No existing use of land or structure shall be deemed to be nonconforming solely because of the lack of off-street parking facilities prescribed in this chapter; provided, that if a facility being used for off-street parking at the time of adoption of the ordinance codified in this section, which does not meet the parking requirements set forth in this chapter, converts or changes to a use substantially

the same as the previous use in terms of parking characteristics (as determined by the city manager), the new use shall not be required to increase the amount of off-street parking to comply with this chapter. In addition the project site is located next to the City parking lot between Butte Street and Sycamore Street which has ample parking for clients.

Any new business signage shall require sign permit approval from the city.

Notice of the proposed use permit application and public hearing was posted in a local newspaper and property owners within 400 feet of the subject site were sent notice. No written or verbal comments have been received from the adjoining property owners.

The project was reviewed internally by city departments for comments/conditions which attached proposed conditions of approval reflect those comments.

Findings of Fact for a Conditional Use Permit

Based upon the facts and conclusions contained within this staff report the following findings must be made in order to approve the applicant's Use Permit request:

1. That the use is consistent with the purposes of the district in which the site is located.
2. That the proposed location of the use and the conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.
3. That the proposed use is in conformance with the General Plan

STAFF RECOMMENDATION:

Staff recommends adoption of the attached resolution recommending Use Permit approval to allow establishment of an exercise studio subject to the conditions of approval as shown in Attachment #2.

Environmental Review and Analysis

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA). City staff has determined that the proposal is exempt from further CEQA pursuant to CEQA Section 15301, Class 1, Existing Facilities.

PLANNING COMMISSION OPTIONS:

- 1) Recommend approval of the Use Permit proposal and subject to Conditions of Approval as described in Attachment 2
- 2) Deny the application with appropriate findings for denial.

Attachments:

1. Draft Planning Commission Resolution recommending Project Approval
2. Proposed Conditions of Approval
3. Applicants Statement
4. Site Plan

Submitted by:

Karen Mantele
Principal Planner

**THE APPLICANT IS REMINDED THAT THERE IS A 10 (TEN) DAY APPEAL PERIOD
FOLLOWING THE PLANNING COMMISSION DECISION**

PC RESOLUTION NO. _____-2012

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
WILLOWS APPROVING A
USE PERMIT FOR CARISSA GOKAY TO ESTABLISH A FITNESS
STUDIO FOR PROPERTY LOCATED AT 130 N. BUTTE STREET, SUITE
K, ASSESSORS PARCEL NUMBER 003-044-005.**

WHEREAS, the applicant, Carissa Gokay has filed a Conditional Use Permit application to allow establishment of an exercise fitness studio within an existing commercial building, and,

WHEREAS, notices of the Planning Commission meeting held on July 18, 2012 were published in a newspaper of general circulation in the City in accordance with law, and mailing to property owners within 400 feet were sent; and

WHEREAS, the Planning Commission did, on July 18, 2012 hold a public hearing to consider all public oral and written comments, letters and documents, staff reports, and all other documents and evidence which are a part of the Record; and,

WHEREAS, the Planning Commission has reviewed all evidence submitted in connection with the application, including public testimony, staff report, supporting documentation, City codes and regulations, and all other relevant documents and evidence which are part of the record of proceedings; and

WHEREAS, the Planning Commission finds that the proposal is considered exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, Class 1 Existing Facilities, and

WHEREAS, the Planning Commission does find that the proposed use is consistent with the purposes of the district in which the site is located as the use is allowed per Section 18.55.030(7) with an approved Use Permit; and

WHEREAS, the Planning Commission does find that the proposed location of the use and the conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity, as conditions of approval have been incorporated into the attached conditions; and

WHEREAS, the Planning Commission does find that the proposed use is in conformance with the General Plan, as the property is located within the General Commercial/Downtown Willows designation, which allows for retail businesses and service related businesses.

NOW THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Willows does hereby find that the Use Permit proposal to establish an exercise fitness studio within an existing commercial building is consistent with the City of Willows General Plan, the City of Willows Municipal Code, and hereby approves Use Permit file #UP-12-02, subject to the attached conditions of approval set forth in Attachment #2; and

IT IS HEREBY CERTIFIED that the foregoing Resolution was duly adopted at a regular meeting of the Planning Commission of the City of Willows on Wednesday, the 18th day of July 2012, by the following vote, to wit:

AYES _____
NOES _____
ABSTAIN _____
ABSENT _____

APPROVED: _____
Keri Warren, Vice Chairperson

ATTEST: _____
Recording Secretary

**CONDITIONAL USE PERMIT (UP-12-02) CONDITIONS OF APPROVAL
FOR STUDIO FIT (CARISSA GOKAY)
FOR PROPERTY LOCATED AT 130 N. BUTTE STREET, SUITE K,
ASSESSORS PARCEL NUMBER 003-044-005
PC approval date _____, 2012**

1. That the applicant/developer shall enter into a Pass Through Agreement with the City of Willows to pay the cost of all planning review, plan checking and field inspection of this development.
2. If the use is not made on the project subject to the permit within one (1) year after the date of granting the permit, then without further action, the permit shall be null and void and such use shall not be made of the property except upon the granting of a new permit.
3. This use permit is void one (1) year after the use permitted by such permit is discontinued
4. The applicant shall first secure sign permit approval from the Planning Department prior to installation of any signage.
5. All plans for additional uses, which are not covered by this review, shall be submitted to the City Manager/Planning Commission for review and approval prior to use

Building Department:

6. Any modifications to the building, plumbing, mechanical, electrical or handicap accessible features will require the proper permits. (EXTENSION CORDS ARE PROHIBITED).
7. The applicant must apply for and obtain all necessary permits from all affected agencies
8. The applicant shall submit details (a floor plan) to the building department prior to operating the business indicating where financial transactions will take place and the type of counter proposed. Counter must be handicapped accessible.
9. The applicant shall place a 2-a/10-bc Fire extinguisher with a current certification tag. Location of the extinguisher shall be determined by a site inspection once the space has been set up and an inspection is requested from the Building Department (24 HOUR NOTICE).

Fire Department

10. A Fire Extinguisher shall be located and mounted in accordance with the current California Fire Code prior to opening business.
11. The building address signing shall meet all City of Willows Municipal code criteria and be reviewed by the Fire Department prior to approval.

APPLICANTS BUSINESS STATEMENT/PROJECT DESCRIPTION

June 19, 2012

PROJECT DESCRIPTION:

The purpose of my new business activity, is to run a small group personal training studio-- anchored towards bodyweight and functional training. The majority of my groups would consist of 1-5 individuals during a 30-minute training session. The studio would consist of minimal heavy equipment and mostly functional pieces consisting of: exercise balls, sandbags, some kettlebells and skipping ropes.

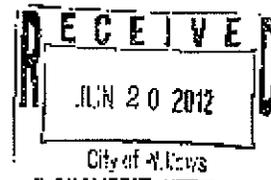
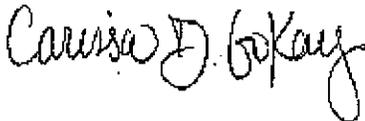
Studio would be open by appointment only. Most appointment hours would run from: 5am-10am, 1pm-3pm, and 4:30pm-6:30pm Monday through Thursday and some Friday am hours.

I am the only employee of this business.

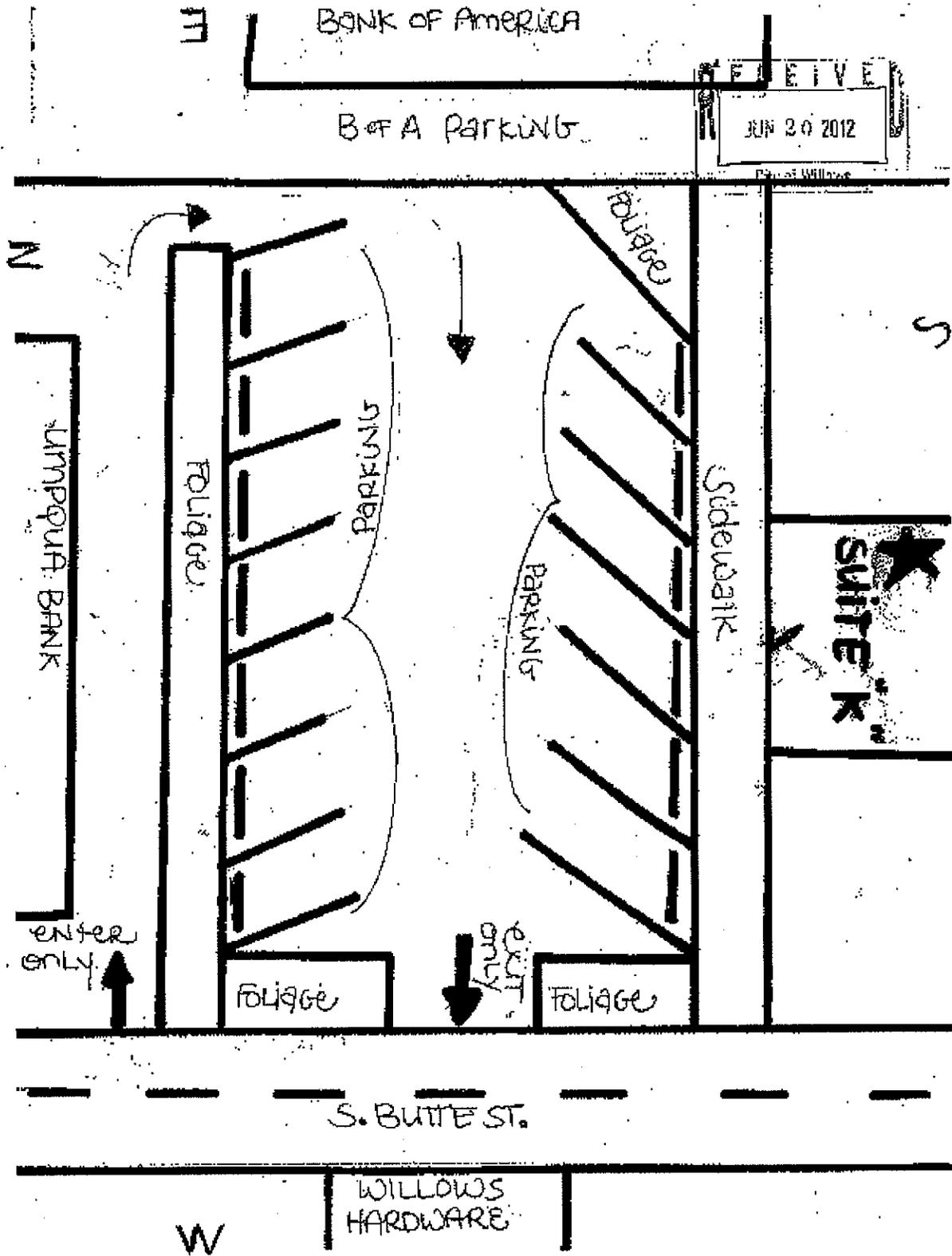
The suite is one large, open-vaulted room with high ceilings and in a rectangular shape. Towards the back of the studio (south end), locates a bathroom and a small space for a potential desk and/or storage. There are no interior improvements proposed.

The space will primarily be used for personal training instruction. Eventually, I would like to sell t-shirts, stickers, and further advertising materials.

Thank you,
Carissa D. Gokay



SITE PLAN



Willows Planning Commission Agenda Report: July 18, 2012

Project: Design Review (File # DR-12-01) New Senior Apartments
Applicant/Owner: Mike Kelley/Leroy G. Robinett & Barbara Robinett etal
Project Location: 1324 & 1330 W Sycamore Street, Willows, CA
Parcel No: 001-061-013
Zoning: Multi-family Residential (MFR)
General Plan R-3 (High Density Residential)

Project Description

The applicant, Mike Kelley on behalf of The Pacific Companies, has submitted a Design Review application with the City to request design review approval for construction of a new 49-unit housing development for seniors for property located at 1324 & 1330 W. Sycamore Street. The proposed project will target seniors with income ranges between 30% and 50% of the AM I (area medium income).

The development will consist of two (2) buildings that are two-story residential buildings, fully sprinkled, each served by an elevator and a 2,718 square foot club house with an office. The project will consist of 39 one-bedroom/one bath units (613 square feet) and 10 two-bedroom/one bath units (804 square feet) for a total of 31,947 square feet. An office manager will reside in one of the two bedroom units. Several of the units are proposed to be handicap units as shown on the attached site plan. Each unit will have either a patio area or a balcony. The development will include an area set aside for a swimming pool, a heated spa, a covered picnic area and a community garden area. There will be full laundry facilities on site for the tenants. There are 89 parking spaces provided within the development.

Access to the apartment complex will be off of W. Sycamore Street. The project is also proposing a future bus stop to be developed for the project tenants on W. Sycamore Street. A six foot high CMU wall with pilasters will be constructed along the east and south sides of the property and a six foot high decorative wrought iron fence along the west side of the property, and left open along W. Sycamore Street. The project proposal includes a detention area in the southwest corner of the property in order to capture the on-site water. A fence is proposed to be constructed around the detention area.

Review Process:

These matters are before the Planning Commission pursuant to Section 2.45 of the City of Willows Municipal Code.

Zoning:

The project site is located just south of the intersection of W. Sycamore Street and S. Humboldt Avenue and zoned R-3 (High Density Residential), which allows for multiple family dwellings and apartments (Section 18.40.020(2)) as a permitted use subject to Design Review approval for new construction. The parcel is mostly vacant with the exception of a trailer home located on the eastern side of the property which is proposed to be removed. The project will require a Lot Line Adjustment to be completed in order to carve out the amount of land the project proponent will acquire from the owner(s) for this development.

Zoning to the north and east is R-3, to the west is CG/PD, R-1 to the south. The surrounding areas include a couple of multi-family apartment complexes to the north and to the east, vacant parcels to the west, multi-family residential to the east and single family residential to the south.



Project Site – Looking southeast

General Plan:

The project site is located in the MFR designation area according to the City of Willows Land Use Map. This designation provides for the opportunity for development of apartments and condominiums, and allows 16 to 30 units per acre. The parcel size is 3.38 acres which would allow approximately of 101 units; however the project is proposing 49 units.

The proposed project would further several General Plan goals, including

1. **DPS-3** which policy is to encourage infill development within the City limits
2. **DPS-4** which the objective is to provide for the expansion, extension or upgrades to meet new development without adversely impacting existing community services
3. **DPS-9** which the objective is to provide a variety of residential development opportunities in both type and cost.
4. **DPS-17** -which the objective is to provide new residential development that is compatible with existing land uses, is infill on a vacant parcel within the City limits, and provides housing opportunities for all segments of the population.

Project Analysis for Design Review (pursuant to Section 2.45.060)

Competent Design: The project development plans submitted for this project have been prepared by an architectural firm. The plans include architectural elevations of the exterior design, floor layout of the two sizes of units, and proposed color schemes of the elements. The exterior of the buildings will be cultured stone on the third bottom portion of the building with stucco siding above that and vinyl lap siding on the upper portion. The roof will be comprised of 30 year asphalt shingles.(All shown on Sht. A3.4 & A4.5)

Relationship between Structures within the Development and between Structures and Site: There are no existing structures on the subject property other than the mobile home mentioned previously, which is intended to be removed prior to construction. The proposal to construct two two-story buildings has been designed to fit the site..

Relationship between Development and Neighborhood: The proposed project would be a appropriate addition to the neighborhood and the project has been designed to the terrain and surrounding area. There is sufficient open space and landscaping proposed to soften the two story buildings, providing a pleasing

relationship to both the development and the surrounding neighborhood. To the east there are a couple two-story apartment complexes.

Materials and Colors Used: Earthtone colors are proposed for the project, ranging from a sandy color stucco finish, to a light beige color of lap siding, highlighted with a green tone of shake siding and multi-color brown cultured stone. The roof shingles are proposed to be a darker brown color. All of the proposed colors are within the earthtone color suggestions of the code section as well as suggested natural materials. No metal finishes are proposed. The plan does not indicate whether the concrete surfaces will be colored, textured, sculptured, or patterned.

Wall, Fences or Screening: The project proposal includes installing a 6 foot high CMU block wall along the east and south sides of the property. This is in order to screen the development/parking from the surrounding parcels. A 6 foot wrought iron fence is proposed on the west side of the property. The Police Department commented that this is acceptable, however suggested that the wrought iron fence be continued along the Sycamore Street side to the entrance. This is a comment that the Commission may entertain and discuss. The project will consist of two trash enclosures which will be required to be fully enclosed by a block wall with a gate on the fourth side in order to screen the bins.

Surface Water Drainage: All on-site surface water shall be 100% retained on site. Conditions of approval have been incorporated into Attachment 2 under Engineering and Public Works Department to maintain that the water is contained and drains properly.

Drives, Parking and Circulation: The adjoining features to the project site include existing pavement only. There are no sidewalks, curbs, parking or loading areas or driveways. Therefore the project will be required to submit plans for review in order to construct these improvements. The proposed project will install 89 on-site parking spaces, of which 59 will be covered, a loading area for deliveries, driveway entrance into the apartment complex, and curb, gutter and sidewalk improvements the length of the property along W. Sycamore Street. In order to provide smoother circulation, the Waste Management Company suggested that the concrete bulb-out across from the first trash enclosure be removed in order for haulers to gain easier entrance to the bins. Additionally the engineering department conditioned that the project demonstrate that there is sufficient turning radi for fire apparatus and garbage trucks. The attached conditions of approval reflect these requirements.

Utility Service: All utilities shall be installed underground. Sanitary sewer lines shall be shown on improvement plans. Trash collection has been included in the project as the site plan shows two locations where enclosed trash receptacles will be located. The attached conditions of approval reflect these requirements.

Signs: The project proposes to construct a monument entrance sign into the complex. The sign is subject to City review and approval prior to installation. The attached conditions of approval reflect this requirement.

Exterior Lighting: The project proposes exterior lighting throughout the site. No light plan was submitted with this application; however the conditions of approval reflect this requirement.

Landscaping: The attached landscaping plan indicates a range of shrubs/trees/landscaping for the project. A final landscaping plan shall be submitted to the Public Works/Park Department for review and approval prior to installation. This requirement is reflected in the attached conditions of approval.

The project was reviewed internally by city departments and County and outside agencies for comments/conditions which attached proposed conditions of approval reflect those comments.

Environmental Review

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA). City staff has determined that the proposed project is exempt from further CEQA review and qualifies as a Categorical Exemption pursuant to Section 15194, Affordable Housing Exemption. This exemption is applicable to developments that meet all of the criteria under Section 15192, which this project does. An NOE has been prepared for recordation upon approval of the Commission.

STAFF RECOMMENDATION:

Staff recommends adoption of the attached resolution recommending approval for Design Review DR-12-01 to allow design approval for a 49-unit senior apartment project, subject to the conditions of approval as shown in Attachment #2.

PLANNING COMMISSION OPTIONS:

- 1) Recommend approval of the Design Review proposal and subject to Conditions of Approval as described in Attachment 2
- 2) Deny the application with appropriate findings for denial

Attachments:

1. Draft Planning Commission Resolution
2. Proposed Conditions of Approval
3. Applicants Written Project Description
4. Site Plan (full set of color plans for Commissioners)
5. Elevation
6. Landscaping Plan

Submitted by:

Karen Mantele
Principal Planner

PC RESOLUTION NO. _____-2012

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS APPROVING DESIGN REVIEW FOR THE PACIFIC COMPANIES 49-UNIT SENIOR APARTMENT PROJECT (FILE #DR-120-01) FOR PROPERTY LOCATED AT 1324 & 1330 W. SYCAMORE STREET, ASSESSORS PARCEL 001-061-013

WHEREAS, the applicant Mike Kelley on behalf of The Pacific Companies, has filed a Design Review application for design review approval for construction of a 49-unit senior apartment project consisting of two two-story buildings, on property located at 1324 & 1330 W. Sycamore Street, located in an R-3 zoning district; and

WHEREAS, the Planning Commission did, on July 18, 2012, hold a public hearing to consider all public oral and written comments, letters and documents, staff reports, and all other documents and evidence which are a part of the Record; and,

WHEREAS, the Planning Commission has reviewed all evidence submitted in connection with the application, including public testimony, staff report, supporting documentation, City codes and regulations, and all other relevant documents and evidence which are part of the record of proceedings; and,

WHEREAS, the Planning Commission finds that the proposal is considered exempt from the Californian Environmental Quality Act (CEQA) pursuant to 15194, Affordable Housing Exemption, and

NOW THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Willows does hereby find that the Design Review proposal for a 49-unit senior apartment project is consistent with the City of Willows General Plan, the City of Willows Municipal Code, and hereby approves Design Review file# DR-12-01 subject to the attached conditions of approval set forth in Attachment #2; and,

IT IS HEREBY CERTIFIED that the foregoing Resolution was duly adopted at a regular meeting of the Planning Commission of the City of Willows on Wednesday, the 18th day of July, 2012 by the following vote, to wit:

AYES _____
NOES _____
ABSTAIN _____
ABSENT _____

APPROVED: _____
Kerri Warren, Vice Chairperson

ATTEST: _____
Recording Secretary

**USE PERMIT CONDITIONS OF APPROVAL
FOR A 49-UNIT SENIOR APARTMENT PROJECT for THE PACIFIC COMPANIES
FOR PROPERTY LOCATED AT 1324 & 1330 W. SYCAMORE STREET
ASSESSORS PARCEL NUMBER 001-061-013**

PC approval date: _____, 2012

General

1. That the applicant/developer shall enter into a Pass Through Agreement with the City of Willows to pay the cost of all planning review, plan checking and field inspection of this development.
2. That if in the event that archaeological remains or artifacts are uncovered during construction activities, work shall be stopped and a qualified archaeologist shall survey the site. The archaeologist shall submit a report with recommendations on the disposition of the site. Disposition may include but is not limited to, excavation and documentation, capping the site, or leaving the site in an open space area. The recommendation of the archaeologist shall be incorporated in the project.
3. The approval of this project shall be subject to the latest adopted Ordinances, Resolutions, Policies and fees of the City of Willows.
4. The developer shall adhere to the design and specification of the Architectural Design Review approval. An occupancy permit shall not be issued in part or whole for any building or group of buildings subject to design review unless and until the work specified in the design review approval has been completed, including landscaping. If for any valid reason full compliance cannot be made; a cash bond shall be posted for the work to be completed within a reasonable period of time as determined by the City Manager or his authorized representative.
5. The Architectural Design Review approval shall expire in one year unless otherwise stipulated by the Planning Commission. The applicant may apply to the Building Official for an extension of not more than one year from the original date of expiration, if he finds that there has been no substantial change in the factual circumstances surrounding the originally approved design. Substantial changes and any further extension beyond one year shall require Planning Commission approval.
6. Sufficient parking shall be installed per the City of Willows Municipal Code Section 18.120.020(b).
7. All building mounted and site lighting shall be shielded lights, down lights, and or full cut off lights so that the bulb is not visible from off-site and light does not intrude into adjoining properties. Residential lighting shall not create light and glare on neighboring properties and shall not have up-lighting that is not screened by roof overhangs. Cut sheets shall be submitted for City review.
8. A revised site plan shall be submitted to the City of Willows for final review prior to issuance of a building permit showing modifications, to include adding directional signage, adding

location of bus stop, north fencing, EVA entrance on the south side of property, and lighting and approved by the city engineer.

9. The applicant shall first secure sign permit approval from the Planning Department prior to installation of the proposed monument entrance signage.
10. The Glenn County Air Pollution Control District (GCAPCD) shall enforce dust suppression methods. Prior to initiation of construction, the applicant shall obtain a written "authorization to construct" from the Air Pollution Control (APC) Officer of the GCAPCD. The developer will be required to demonstrate to the satisfaction of the APC officer, that the source site can be expected to comply with all applicable state and district regulations regarding air quality as determined by GCAPCD. Requirements include the following: (a) the construction site shall be watered during grading and construction activities as needed to control the generation of fugitive dust, (b) that all grading operations shall be suspended when wind speeds exceed 15 miles per hour, (c) limit fugitive dust from leaving site and interfering with traffic conditions, (d) paved roadways leading to or from the project area shall be swept or washed at the end of each day as necessary, (e) provide a functioning water truck on site and use when necessary, (f) that all dust control measures shall be reviewed and approved by the Air Pollution Control District prior to groundbreaking. A copy of the District's written authorization shall be submitted to the City of Willows.

Building Department

11. At the time of submittal the plans shall conform to the most current adopted set of applicable Title 24 codes.
12. The applicant shall submit a completed building permit application, 6 complete sets of plans, and appropriate plan review fees. (based on construction cost/valuation).
13. The grading/improvement plans (including utilities) for on and off site shall be reviewed and approved by the City of Willows engineer.
14. The applicant shall be responsible to pay the applicable City of Willows development impact fees.
15. The applicant shall be responsible for Willows Unified School District Development Fees (subject to WUSD approval)
16. The accessible parking spaces and dwelling units shall be dispersed throughout the project site (See applicable California Building Code.)

Fire Department

17. California Water will need to be notified of the project and utility right of way will need to be granted for fire lines.
18. A full set of Fire Sprinkler drawings shall be submitted (deferred is ok) to the Building Department for review and approval.
19. Interior buildings will be required to have Stand pipe connection floor #1 and floor #2 as approved by the Fire Chief.

20. Fire Department connections to the sprinkler system will be required to have a hydrant within 50' (WMC 15.15.110). Hydrants will be required to have crash protection approved by the Fire Chief.
21. Water flow calculation of new hydrants shall be supplied to the Fire Department.
22. Emergency Vehicle access to the south end of the property will be required with the driving surface meeting WMC 15.15.090.
23. Elevators shall meet current fire/building code standards.
24. Premise Identification will meet CFC as well as WMC 15.15.100. All buildings are required to be labeled along with all units to be labeled.
25. Property shall have a Knox box placed per Fire Chief approval with a master key to the property.
26. Building/fire plans shall meet the most current fire/building/NFPA codes.
27. All fire FDC/Standpipes and control room shall be labeled.
28. Access roads shall be required to be red curbed and signed NO PARKING.

County Environmental Health

29. The pool and spa must be planned checked and permitted by the County Environmental Health Department prior to installation.

Waste Management

30. There shall be holes drilled into the concrete with pins attached to secure the enclosure gates of the trash enclosures so they stay open.
31. Recommend that the concrete bulb-out across from the entrance trash enclosure be removed for better movement and turning of hauler truck.

County Planning & Public Works

32. Prior to finalizing the revised site plan, the applicant shall consult with the Glenn Transit Service staff and their contract transit operator Paratransit Services on the location of the proposed bus stop.

California Water Service Company

33. Cal Water Service Co. can serve the proposed development with a main extension from the existing CWS system in accordance with the main extension rules. Applicant shall complete the necessary documents and submit estimate pre-engineering fees prior to constructing water improvements.

Engineering and Public Works Department

General Conditions:

34. Developer shall design and construct all improvements and facilities shown on the site plan in accordance with the Willows Municipal Code (WMC) and the City of Willows Design and Construction Standards. Approval of a site plan depicting improvements that do not conform to the WMC or City Standards does not constitute approval of all exception to the WMC or City standards unless explicitly stated herein or in another City Resolution.
35. The developer shall be responsible for all City plan check, lot line adjustment check and inspection costs. The developer shall deposit with the City upon the initiation of plan check services. The amount of the initial deposit shall be determined by the City Engineer. Additional funds may be required based upon the actual plan check and inspection costs.
36. All existing overhead utilities (of 26,000 volts or less) and proposed utilities, both on-site and along project frontages, shall be placed underground. This does not include surface mounted transformers, pedestal mounted terminal boxes and meter cabinets.
37. Unless otherwise explicitly permitted, all existing wells, septic tanks and/or underground fuel storage tanks shall be abandoned under permit and inspection of Glenn County Department of Health Services or other designated agency. If there are none, the project engineer shall provide a letter describing the scope of this search done to make this determination,

Improvement Plans and Construction Conditions:

38. Improvement plans shall be prepared and submitted by a California Registered Civil Engineer for the construction of all necessary and required on-site and off-site improvements including grading, water, sanitary sewer, storm drain facilities, roadway improvements, curbs, gutters, sidewalks, parkway strips, walls, fences and lighting. All design and construction shall conform to the City of Willows Design and Construction Standards, as applicable.
39. A detailed Soils Investigation/Geotechnical Report shall be prepared and submitted for review. The report shall address, at a minimum, potential for liquefaction, expansive soils and seismic risk. The improvement plans shall incorporate all design and construction criteria recommended in the Geotechnical Report.
40. All private utilities (water, sewer and storm drains) shall be clearly labeled "Private" on the improvement plans.
41. Improvements plans shall include a storm water pollution prevention plan. Erosion control measures shall include hydroseeding of all graded slopes within 60 days of completion of grading.
42. **Roadway Improvements:**
 - a. The structural section of all road improvements shall be designed based upon a geotechnical investigation that provides the basement soils R-value and expansion pressure test results. A copy of the geotechnical report shall also be submitted with the first set of improvement plan check-prints. All internal private driveways within the development shall be designed such that they can support a fully loaded emergency vehicle (70,000 lbs. +) per Section 15.15.090

of the Willows Municipal Code (WMC) and garbage trucks. The project engineer shall include calculations with the submittal of the improvement plans showing the structural section design for all private and public roadways.

- b. Where new roadway improvements abut existing paving, the existing pavement section shall be saw-cut and reconstructed to provide adequate conforms. The limits of such reconstruction shall be as determined by the City Engineer.
- c. Pavement markings and signage shall be provided on all private and public streets as necessary and as required by the City Engineer. Signage restricting parking and red painted curbing shall be installed for all onsite curbs that are not identified parking spaces. "No Parking - Fire Lane" curb painting and necessary signage shall be installed restricting parking in any area other than identified parking stalls. Speed limit signs and other regulatory and informational signs shall be installed at locations determined by the City Engineer.
- d. Street and on-site lighting shall be designed to provide to meet safety requirements and minimize glare. Lighting standards and luminaries (including design, spacing, and locations) shall be approved by the City Engineer. All lighting must have shields as specified in the City Standards. With the submittal of the improvement and building plans, the applicants engineer shall include a photometric analysis showing levels of light throughout the site to ensure that proper safety lighting is included.
- e. Ramps for disable persons meeting the most recent standards shall be provided at all intersections and at the limits of the improvements where they do not adjoin existing sidewalk improvements. Sidewalk warps shall be provided as necessary to allow a clear four-foot wide walkway at all locations, including areas where mailboxes, streetlights, and fire hydrants obstruct sidewalks.
- f. All onsite driveways and isles shall have a minimum width of 27 feet and all parking stall dimensions shall meet the City's standards. The developer's engineer shall include truck turning template radii with the submittal of the improvement plans on all turns within the development demonstrating there is sufficient room to turn fire apparatus and garbage trucks through all turns.
- g. The improvement plans for this development shall include a 27 foot wide driveway connection from the southeasterly parking lot of the development to the existing 60 foot right-of-way for the Humboldt Street extension. Humboldt Street extension will ultimately be constructed adjacent and west of the proposed development by the owner of Parcel 2 as shown on the Parcel Map for Comco Commercial Real Estate (Book 10 of Parcel Maps, Page 85 of Glenn County), as the note on that map reads "The southerly extension of Humboldt Avenue shall be constructed to City Standards prior to the development of Parcel 2." This driveway shall have permanent improvements up to within 20 feet of the existing westerly property line. Temporary asphalt curbing can be used in the final 20 feet of the driveway to allow for flexibility in grades and ultimate connection to Humboldt Street, once it is designed and built by others. Once Humboldt Street is constructed adjacent to this development, this development shall be responsible to making any modifications to the onsite improvements to the driveway that it ensures that proper grades, drainage, curbing and other improvements match the new street.
- h. From the westerly end of the driveway providing the secondary point of access (as specified in

the previous condition), an all-weather surfaced Emergency Vehicle Access Road (EVA) shall be constructed within the existing 60 foot right-of-way for the extension of Humboldt Street to connect to the existing portion of Humboldt Street at the northwest corner of this development. The EVA shall be a minimum of 20 feet wide and shall be constructed of an acceptable all-weather surface (acceptability determined by the City Engineer and Fire Chief) for its entire length. A gate and Knox box may be required to be installed at the property line between the project boundary and the right-of-way. The requirement for the Knox box will be at the discretion of the Fire Department.

- i. Full sidewalk, curb, gutter and paving shall be constructed along the entire frontage of APN's 001-060-013, 001-060-012 and 001-060-009 and shall connect to existing curb, gutter and sidewalk improvements to the east. All improvements shall be per City Standards. The street width shall be such that they line up with the existing curb, gutter and sidewalk to the east.
- j. An encroachment permit will be required for all work within existing City right-of-way. Bonds will be required with the encroachment permit that will be sufficient to cover all improvements proposed in the permit.
- k. Accessible sidewalk ramps per current ADA standards shall be provided on both curb returns at the main driveway entrance on W. Sycamore Street. Additionally, a cross walk shall be striped for pedestrian crossing the driveway at this location, and a stop sign shall be erected for traffic leaving the development such that vehicles stop before the crosswalk.
- l. Landscaping and entry signage at the main driveway entrance along W. Sycamore Street shall be designed such that they do not interfere with sight distance of drivers leaving the development. The applicants engineer shall provide sufficient graphical evidence with the submittal of the improvement plans showing that the required sight distance is being met for the speed limit on W. Sycamore Street.
- m. The proper number of onsite handicapped parking stalls shall be installed to meet current code requirements at locations adjacent to each building as determined by the City's Building Official.
- n. The CC&R's or equivalent document for this development shall be submitted to the City for review and approval prior to the approval of the improvement plans. This document shall provide for maintenance of all private onsite facilities including, but not limited to, all landscaping improvements (including frontage improvements along W. Sycamore Street), tree trimming to ensure that all trees adjacent to access drives on the property are maintained to a minimum height of 14 feet to ensure adequate clearance for emergency vehicles and garbage trucks, all utilities, all fencing and any other private facility associated with the project.
- o. The improvement plans shall include/show all utilities and the connections to existing facilities. Locations of utility connections to city-owned facilities shall be reviewed and approved by the City.

43. Water and Sanitary Sewer Improvements:

- a. Sewer grades must be designed such that ultimate finished floors are a minimum of 12" above upstream manhole or clean-out rim elevations. Inadequate elevation differentials or grade on private laterals, as determined by the City, must be mitigated by either raising

finished floor elevation(s) or installing privately owned and operated sewer lift station(s) with grinder/ejector pump(s) on site.

- b. All onsite and offsite water improvements must be coordinated with and approved by Cal Water prior to the approval of the improvement plans. All plans for the water system shall be included in the overall improvement plan set for the City. If Cal Water requires any easement onsite, all easements shall be fully approved prior to the approval of the improvement plans. Agreement on who will maintain what portions of the onsite water facilities shall be provided to the City prior to the issuance of the certificate of occupancy.
- c. A separate water service specifically for landscaping shall be provided for all onsite and offsite landscaping. Said service shall have adequate backflow prevention per code.
- d. The location of all onsite and offsite fire hydrants shall subject to review and approval by the City's Fire Department.
- e. Any drain lines from the proposed pool shall be connected to the sanitary sewer line onsite and shall not be allowed to connect to the storm drain system, nor be allowed to be drained onto landscaping or other surfaces.
- f. The main sewer connection for this project shall connect to the sewer stub provided for this project from the sewer main in the right-of-way for Humboldt Street west of and adjacent to this project. If, for any reason this is impractical, the developer for this site shall be responsible for excavation and removal of the existing sewer stub that was constructed when the 10-inch sewer line was installed.
- g. The effluent from this project will ultimately flow into the Sycamore Street Sewer Pump Station. Currently, that pump station is operating over capacity and is in need of improvement. Other upstream developments have contributed to their proportional share of the improvement of the pump station based on their flow contribution. Accordingly, the developers engineer shall provide calculations with the submittal of the improvement plans indicating the anticipated volume of effluent that will be generated from the project. The calculations shall be reviewed and approved by the City Engineer. This developments contribution will be responsible to pay for their proportional share of the cost to improve the Sycamore Street Pump Station. Payment must be received prior to issuance of any building permits for this project.
- h. A hose bid will not be allowed adjacent to the proposed trash enclosure, as the City will not allow wash-down of the garbage area to be flushed into the storm drain system.

44. Drainage Improvements:

- a. All project related flooding impacts shall be mitigated by the project developer. Drainage improvements shall be designed in accordance with the Design Criteria utilizing the rationale method and any applicable adopted City drainage plans.

The applicant shall submit for review and approval, drainage plans and hydraulic calculations prepared by a Registered Civil Engineer. The drainage plans and calculations shall indicate the following conditions before and after development:

Quantities of water, water flow rates, major water courses, drainage areas and patterns, diversions, collection systems, flood hazard areas, sumps and drainage courses. Hydrology shall be per current City Standards.

- b. Post-development off-site flows shall not exceed pre-development flows. If this requires a detention pond for this development, the developer's engineer shall submit calculations showing the inflow and outflow hydrographs, the amount of storage required, and verification that the storage required in the calculations is shown on the plans. The detention pond shall be considered private and be privately maintained. Its design shall be such that all side slopes can be mowed/maintained. Maintenance of the detention pond shall be included in any CC&R's or maintenance documents submitted to the City for review and approval prior to the approval of the improvement plans.
- c. The capacity and condition of existing drainage facilities downstream of the development shall be analyzed and off-site drainage improvements shall be constructed as necessary. Site grading and drainage improvements shall be shown on the improvement plans.

Boundary Line Conditions:

- 45. Based on the site plans submitted with this application, it appears that a lot line adjustment shall be required between APN's 001-060-013, 012 and 009. Prior to approval of the improvement plans, the applicant shall submit for review and approval, an application and all supporting documentation for a lot line adjustment to accommodate this development. Submittals shall include written statements by the property owners of APN's 001-060-012 and 009 that they are in agreement with the proposed lot line adjustment and supportive that it moves forward for approval. All plats, descriptions, closure calculations and title reports are subject to review and approval by the City. The lot line adjustment shall be reviewed and approved by the City and recorded at the County Recorder's Office prior to the approval of the improvement plans for this development.
- 46. If any portion of this project requires the dedication of right-of-way or easements for the installation of any of the improvements, the developer shall secure all necessary rights-of-way and easements for both onsite and offsite improvements prior to the approval of the improvement plans. Rights-of-way and easements shall be dedicated by separate instrument. The developer shall prepare all necessary legal descriptions and deeds and shall submit said documents to the City for review and approval. All easements or right-of-way dedications must be recorded prior to signature of the improvement plans.

Construction Conditions:

- 47. No grading or other construction shall be performed until the improvement plans have been approved and signed by the City Engineer. Encroachment Permits and Building Permits will not be issued prior to the approval of the improvement plans.
- 48. The developer shall keep adjoining public streets free and clean of project dirt, mud, materials, and debris during the construction period, as is found necessary by the City Engineer.
- 49. Prior to any construction activity that would result in a land disturbance of one acre or larger, the developer shall provide evidence that a Notice of Intent has been submitted and received

by the Regional Water Quality Control Board (RWQCBD) for a General Construction Activity Storm Water Permit. A copy of the project Storm Water Pollution Protection Plan shall be submitted to the City.

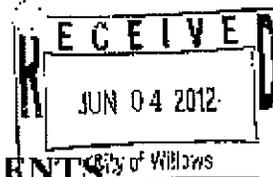
50. If any hazardous waste is encountered during the construction of this project, all work shall be immediately stopped and the Glenn County Environmental Health Department, the Fire Department, the Police Department, and the City Inspector shall be notified immediately. Work shall not proceed until clearance has been issued by all of these agencies.
51. Prior to final preparation of the subgrade and placement of base materials, all underground utilities shall be installed and service connections stubbed out behind the sidewalk. Public utilities, Cable TV, sanitary sewers, and water lines, shall be installed in a manner which will not disturb the street pavement, curb, gutter and sidewalk, when future service connections or extensions are made.
52. Where soil or geologic conditions encountered in grading operations are different from that anticipated in the soil and/or geologic investigation report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted for approval by the City Engineer. It shall be accompanied by an engineering and geological opinion as to the safety of the site from hazards of land slippage, erosion, settlement, and seismic activity. Additionally, if field conditions warrant installation of any subdrains, the location, size and construction details must be provided to the City for review and approval prior to construction.
53. All streets, curbs, gutters, sidewalks or other public facilities damage in the course of construction associated with this development shall be the responsibility of the Developer and shall be repaired to the satisfaction of the City at the Developer's expense.
54. The applicant shall submit a proposed haul route for all trucking associated with this project to the City Engineer for review and approval prior to commencement of construction.
55. Dust control must be maintained to the City's satisfaction.
56. Working hours shall be restricted to the hours of 7:00 a.m. to 6 p.m., Monday through Friday.

Final and/or Release of Securities Conditions:

57. All improvements shown on the Improvement Plans shall be completed and accepted by the City.
58. All improvements shown on the Improvement Plans shall be completed and accepted by the City.
59. All punch-list work shall be completed and any outstanding inspection fees or other charges shall be paid.
60. Developer shall provided sufficient surety guaranteeing the public improvements for a period of one year.

61. A complete set of *As-Built* or Record improvement plans showing all substantial changes from the original plans shall be certified by the Civil Engineer of record and submitted to the City Engineer prior to acceptance of the public improvements.
62. Prior to acceptance of the work, the developer shall provide a written statement signed by his or her engineer certifying that they observed the work during construction and that site grading and all private site improvements have been completed in accordance with the improvement plans approved by the City Engineer.
63. Prior to acceptance of the work, the developer shall provide a written statement signed by his or her geotechnical engineer certifying that they observed the work and reviewed testing results, and that all of work was performed in accordance with the recommendations included in the Soils Investigation/Geotechnical Report or other recommendations necessitated by field conditions.

APPLICANTS' PROJECT DESCRIPTION



WILLOWS SENIOR APARTMENTS

PROJECT DESCRIPTION

The project will be a 49 unit, 100% affordable housing development for seniors. It will target seniors with incomes ranging between 30% and 50% of the AMI. The development will consist of two (2) buildings that are two story residential buildings each served by an elevator and a 2,718 square clubhouse/office. The project will have 39 1BD/1BA units, 613 square feet and 10 2BD/1BA, 804 square feet. The projects Residential Manager will reside in one of the 2BD/1BA units.

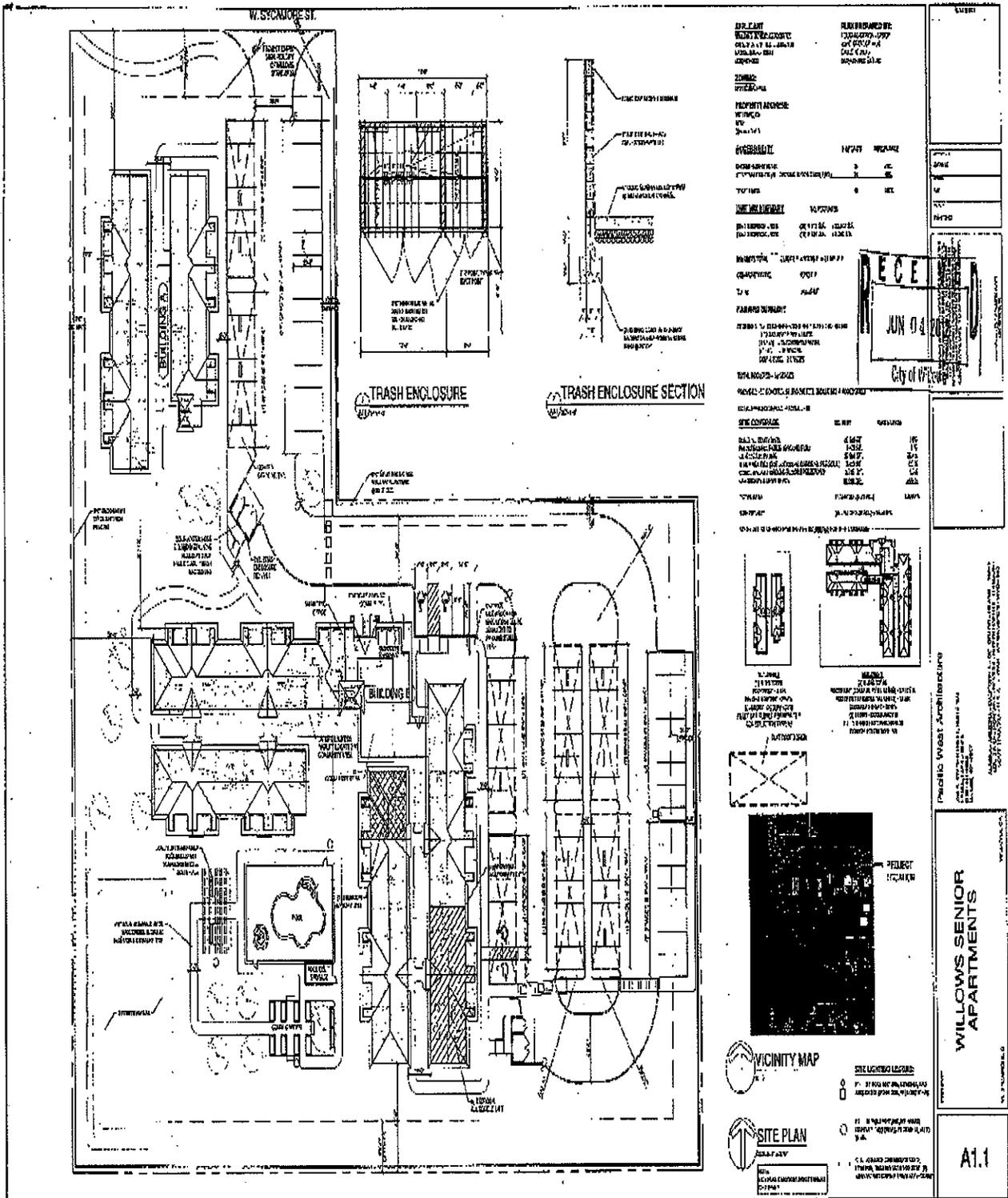
A development requires a total of eighty-nine parking spaces; the development will provide eighty-nine parking spaces, of which fifty-five will be covered spaces.

The development will have an area set aside for a swimming pool, heated spa, covered picnic area and a community garden area. Over 54% of the development is purposed landscape and/or open space.

Access will be from W Sycamore Street and a future Public Transportation, Bus Stop, is plan to be develop for the projects tenants on W Sycamore Street

See the attached Architectural Drawings for floor plans and Building Elevations.

SITE PLAN



ELEVATION

FINISHES	
1	CONCRETE
2	BRICK
3	WOOD SIDING
4	SHINGLE ROOFING
5	ASPH/FLT ROOFING
6	PAINT
7	GLASS
8	IRON
9	ALUMINUM
10	STEEL
11	COPPER
12	ZINC
13	LEAD
14	BRASS
15	STAINLESS STEEL
16	BLACK
17	WHITE
18	GREY
19	BROWN
20	GREEN
21	RED
22	BLUE
23	PURPLE
24	PINK
25	YELLOW
26	ORANGE
27	BLACK
28	WHITE
29	GREY
30	BROWN
31	GREEN
32	RED
33	BLUE
34	PURPLE
35	PINK
36	YELLOW
37	ORANGE
38	BLACK
39	WHITE
40	GREY
41	BROWN
42	GREEN
43	RED
44	BLUE
45	PURPLE
46	PINK
47	YELLOW
48	ORANGE
49	BLACK
50	WHITE

Project: Willows Senior Apartments
 Drawing: FOUNDATION SUBMITTAL SHEET
 Date: 07/18/12
 Scale: AS SHOWN
 Author: [Name]
 Checker: [Name]

WILLOWS SENIOR APARTMENTS

FOUNDATION SUBMITTAL SHEET

A3.2

