

PLANNING COMMISSION

Peggy White, Chair
Robert Griffith, Vice Chair
Shirley Benningfield, Commissioner
Candis Woods, Commissioner
Walter Michael, Commissioner

CITY PLANNER
Karen Mantele

MINUTE CLERK
Maria Ehorn



201 North Lassen Street
Willows, CA 95988
(530) 934-7041

PLANNING COMMISSION MEETING AGENDA
Wednesday July 20, 2016
7:00 p.m.

1. **Call to Order - 7:00 p.m.**
2. **Pledge of Allegiance**
3. **Roll Call**
4. **Agenda Review:** (Requested Changes by Commissioners or Staff?)
5. **Public Comment:** Persons wishing to speak on a matter *not on the agenda* may be heard at this time; however, no action will be taken unless placed on a future agenda. (***Public Comments are generally restricted to three minutes.***)
6. **Approval of Minutes:** Minutes of Planning Commission meeting held May 18, 2016
7. **Public Hearing(s)/New Business**
 - a. **Design Review (File #DR-16-05) Applicant/Owner: United Sun Energy/Douglas Moss**
836 W. Wood Street/Assessors' Parcel Number: 001-192-005/Entryway Zone/Entryway Land Use Designation/Install solar panels onto roof of existing commercial building
8. **Commission Commentary**
9. **Adjournment**

CERTIFICATION: Pursuant to Government Code § 54954.2 (a), the agenda for this meeting was properly posted on or before July 15, 2016.

A complete agenda packet, including staff reports and back-up information, is available for public inspection during normal work hours at City Hall or the Willows Public Library at 201 North Lassen Street in Willows or on the City's website at www.cityofwillows.org. In compliance with the Americans with Disabilities Act, the City of Willows will make available to members of the public any special assistance necessary to participate in this meeting. The public should contact the City Clerk's office 934-7041 to make such a request. Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

The City of Willows is an Equal Opportunity Provider

MINUTES OF THE WILLOWS PLANNING COMMISSION MEETING

WEDNESDAY, MAY 18, 2016

The meeting was called to order at 7:00 pm by Chair White.

PLEDGE OF ALLEGIANCE:

Commissioner Michael led the Pledge of Allegiance.

ROLL CALL:

Karen Mantele, Planner, Maria Ehorn, Minute Clerk

Present: White, Benningfield, Griffith, Michael

Absent: Woods

AGENDA REVIEW: Chair White asked if there were any changes to the agenda by staff or Commissioners. Staff and Commission had no changes to the agenda.

PUBLIC COMMENT: Chair White introduced the item. No comments were made.

APPROVAL OF MINUTES: It was moved by Commissioner Michael and seconded by Commissioner Griffith to approve the Minutes of the Planning Commission Meeting held April 20, 2016.

AYES: White, Benningfield, Griffith, Michael

NOES: None

ABSENT: Woods

ABSTENTION: None

PUBLIC HEARING(S)/NEW BUSINESS:

- a. **Use Permit (File #UP-16-04) Applicant/Owner: Javier Bravo/JWL Properties 225 N. Tehama Street/Assessors' Parcel Number(s): 003-034-005/Central Commercial Zone/General Commercial Land Use Designation/Establish a Zumba Exercise Business within an Existing Commercial Building.**

Chair White introduced the agenda item. Ms. Mantele presented the agenda report to the Commission, and stated that the applicant and his wife were in the audience.

Chair White opened the public hearing. The applicant, Javier Bravo, spoke stating he is opening the business to help the youth and anyone in the community by getting people off the street and into something good for the community. Commissioner Michael thanked Mr. Bravo for bringing his business to the community. Chair White hearing no other comments closed the public hearing.

Commissioner Griffith moved to approve the next resolution in line entitled, A Resolution of the Planning Commission of the City of Willows Granting Use Permit Approval (File #UP-16-04) To Javier Bravo to Establish a Zumba Exercise Business within an Existing Commercial Building for Property Located 225 N. Tehama Street, Assessors Parcel Number 003-034-005. The motion was seconded by Commissioner Benningfield.

AYES: White, Benningfield, Griffith, Michael

NOES: None

ABSENT: Woods

ABSTENTION: None

Staff reminded applicants that all use permits have a 10 day appeal period.

COMMISSION COMMENTARY:

1. Commissioner Michael stated he had seen Commissioner Woods at a training recently. Ms. Mantele stated she is going to forward information via email to the Commissioners regarding workshops that they may like to attend.
2. Ms. Mantele reported that she has received an application for a 24 unit apartment building for affordable housing to be located on the north side of W Sycamore. She stated that the Commissioners should familiarize themselves with the MFR guidelines as these will be applicable to the project. The applicant is applying for a

HOME grant and in order for the applicant to receive their funding, the application needs to be done prior to August so staff would like to bring this to the Commission on possibly the July 6, 2016 meeting for review.

3. Ms. Mantele gave a brief update on the Mercado Meat Distribution project stating that their plans have been through their 1st plan check and staff is now waiting for them to make revisions.
4. Commissioner Griffith asked if there was any new developments regarding the Basin Street project. Staff stated the engineer has done the 1st review of the infrastructure plans. At the same time Ms. Mantele is working on the environmental side to get clearances that are necessary to move forward with the project.
5. Commissioner Griffith then asked if there was anything new on the hospital project. Ms. Mantele stated that the project was being reviewed for a current cost estimate prior to being put out for bid and that she would be informed when the plans do go out for bid. Commissioner Michael stated he is on the Board of Directors for the hospital and they should be ready to go out for bid in approximately a month.
6. Commission and staff then discussed having a meeting next month on June 15, 2016. Ms. Mantele stated if no project comes in prior to the date then she would subsequently meet with the Chair to see if there could be any other topics for discussion for a meeting.

ADJOURNMENT: Meeting adjourned at approximately 7:22 pm.

PEGGY WHITE – Chair

Maria Ehorn – Minute Clerk

Planning Commission Agenda Report:**July 20, 2016**

Project: Design Review (File# DR-16-05) Install solar panels onto an existing commercial building
 Applicant(s)/Owner: United Sun Energy/Douglas Moss
 Project Location: 836 W. Wood Street
 Parcel No: 001-192-005
 Zoning: Entryway (E)
 General Plan: Entryway

Project Description

The applicant, United Sun Energy on behalf of Douglas Moss, has submitted a Design Review Planning application for Commission review and approval to install solar panels onto the roof of an existing commercial building. The proposal is to install a 11.34kW commercial roof-mounted PV system onto the west facing roof of the Moss Family Dental building at 836 W. Wood Street. The PV system consists of 36-LG 315W black framed modules and 2-SMA Inverters that will be mounted on the wall next to the existing service panel.

Review Process

This matter is before the Planning Commission pursuant to Chapter 2.45.030 of the City of Willows Municipal Code.

Zoning/General Plan Consistency

The parcel is zoned Entryway which is a mix of commercial, office and residential uses. All of the surrounding uses are commercial in nature.

The General Plan Land Use designation for this site is Entryway pursuant to the City's General Plan Land Use Map. This designation states that modifications to existing developments are subject to design review guidelines.

Project Analysis for Design Review (pursuant to Section 2.45.060)

Relationship between Structures within the Development and between Structures and Site: The proposal is to install solar panels onto the west roof of an existing commercial building.

Relationship between Development and Neighborhood: The proposed project would not be out of character for the neighborhood, as there are other solar units within the vicinity.

Drives, Parking and Circulation: This project does not affect the driveway, parking or circulation of the business.

The project was reviewed internally by City departments for comments/conditions which are reflected in the attached proposed conditions of approval.



Existing roof

Environmental Review and Analysis

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA). Staff has determined that the proposal is exempt from further CEQA pursuant to CEQA Code Section 15301, Existing Facilities, Class 1.

STAFF RECOMMENDATION:

Staff recommends adoption of the attached resolution recommending Design Review approval for United Sun Energy on behalf of Douglas Moss, to install solar panels to the roof of an existing commercial building, subject to the conditions of approval as shown in Attachment #2 and site map and elevation Attachments #3 and #4.

PLANNING COMMISSION OPTIONS:

- 1) Recommend approval of the Design Review proposal and subject to Conditions of Approval as described in Attachment 2
- 2) Deny the Design Review application with appropriate findings for denial

Attachments:

1. Draft Planning Commission Resolution
2. Proposed Conditions of Approval
3. Site Map
4. Elevation

Submitted by:

Karen Mantele
Principal Planner

PC RESOLUTION NO. _____-2016

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS GRANTING DESIGN REVIEW APPROVAL (FILE # DR-16-05) TO UNITED SUN ENERGY TO INSTALL ROOF MOUNTED SOLAR PANELS TO AN EXISTING COMMERCIAL BUILDING FOR PROPERTY LOCATED AT 836 W. WOOD STREET ASSESSORS PARCEL NUMBER

WHEREAS, the applicant, United Sun Energy on behalf of Douglas Moss has filed a Design Review planning application to obtain approval for the installation of solar panels to the roof of an existing commercial building; and,

WHEREAS, the Planning Commission did, on July 20, 2016, hold a public hearing to consider all public oral and written comments, letters and documents, staff reports, and all other documents and evidence which are a part of the Record; and,

WHEREAS, the Planning Commission has reviewed all evidence submitted in connection with the application, including public testimony, staff report, supporting documentation, City codes and regulations, and all other relevant documents and evidence which are part of the record of proceedings; and,

WHEREAS, the Planning Commission finds that the proposal is considered exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 Existing Facilities, Class 1.

NOW THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Willows does hereby find that the Design Review proposal to install solar panels onto the roof of an existing commercial building is consistent with the City of Willows General Plan, the City of Willows Municipal Code, and hereby approves Design Review File #DR-16-05, subject to the attached conditions of approval set forth in Attachment #2; and site map elevation plan Attachments #3 & #4.

IT IS HEREBY CERTIFIED that the foregoing Resolution was duly adopted at a regular meeting of the Planning Commission of the City of Willows on Wednesday, the 20th day of July 2016, by the following vote, to wit:

AYES _____
NOES _____
ABSTAIN _____
ABSENT _____

APPROVED: _____
Peggy White, Chairperson

ATTEST: _____
Recording Secretary, Maria Ehorn

**DESIGN REVIEW CONDITIONS OF APPROVAL
FOR
DOUGLAS MOSS DENTAL BUILDING
FOR PROPERTY LOCATED AT 836 W. Wood Street
APN; 001-192-005**

PC approval date: _____, 2016

General

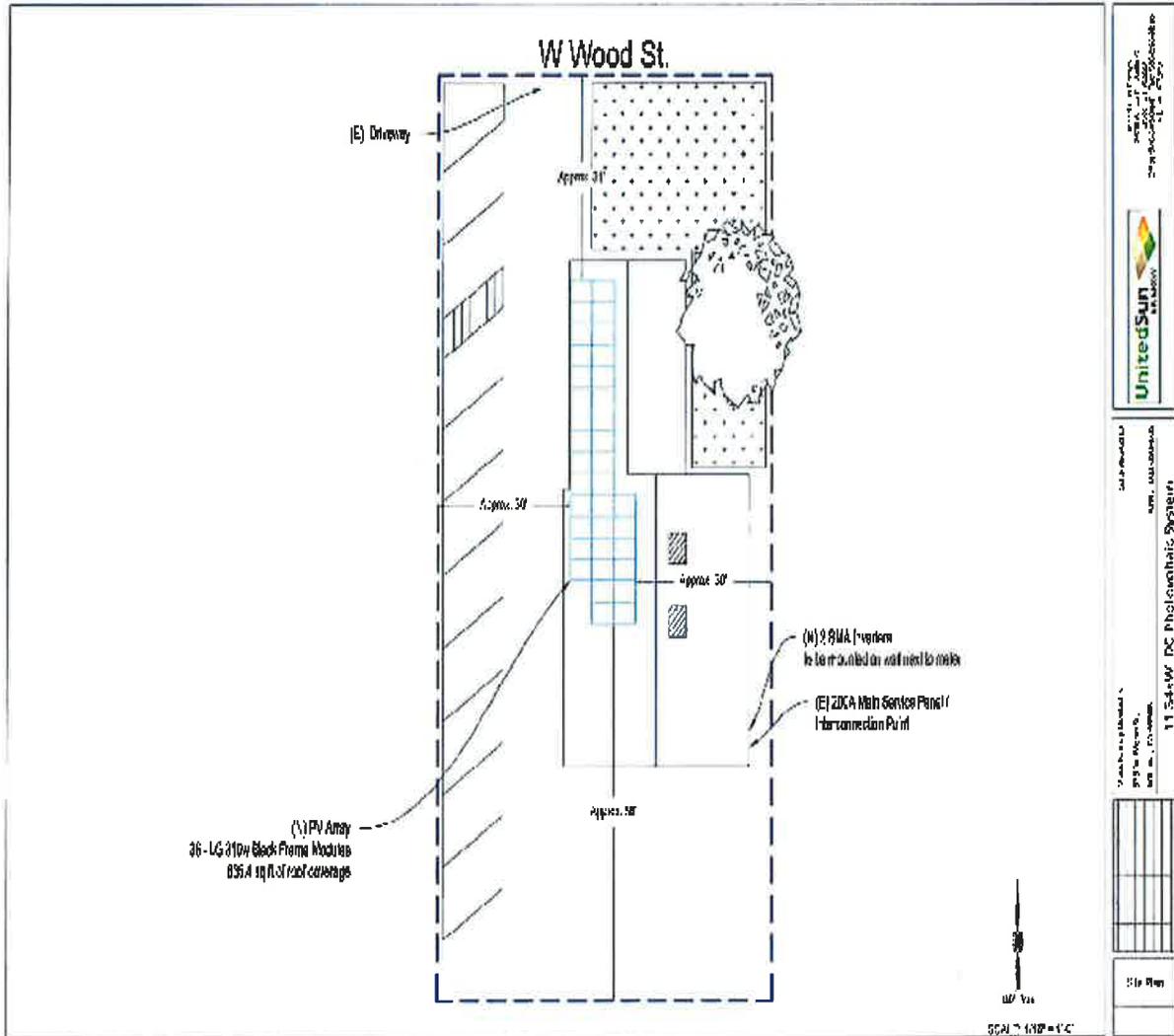
1. That the applicant/developer shall enter into a Pass Through Agreement with the City of Willows to pay the cost of all planning review, plan checking and field inspection of this development.
2. The approval of this project shall be subject to the latest adopted Ordinances, Resolutions, Policies and fees of the City of Willows.
3. The developer shall adhere to the design and specification of the Architectural Design Review approval for the installation of solar panels to the roof of an existing commercial building as depicted on the elevation plan (attachment 4).
4. The Architectural Design Review approval shall expire in one year unless otherwise stipulated by the Planning Commission. The applicant may apply to the Building Official for an extension of not more than one year from the original date of expiration, if he finds that there has been no substantial change in the factual circumstances surrounding the originally approved design. Substantial changes and any further extension beyond one year shall require Planning Commission approval.
5. Any debris as a result of the project shall be disposed of properly to an approved waste disposal site.
6. Dust prevention must be emphasized to avoid unnecessary annoyance to persons living or working in the area. Working hours shall be restricted to the hours of 7:00 a.m. to 6 p.m., Monday through Friday unless approved by the City Manager.
7. All contractors/sub-contractors shall obtain a City business license prior to commencing operation. (Contact Finance Department).

Building Department

8. Applicant shall submit 3 complete sets of plans, specifications, calculations, cut sheets, etc. to the Willow Building Department for review and approval.
9. The applicant shall pay a plan review deposit at the time of plan submittal.
10. The applicant shall submit a completed building permit application.

11. The submitted plans shall comply with all applicable Federal, State and Local codes and ordinances.

Site Plan



Elevation

