



Willows Planning Commission Regular Meeting Agenda

July 21, 2021

Willows City Hall

7:00 p.m.

PLANNING COMMISSION

Hilgard Muller, Chair
Jose Hansen, Vice Chair
Candis Woods, Commissioner
Robert Griffith, Commissioner
Pedro Bobadilla, Commissioner

CITY PLANNER

Karen Mantele

MINUTE CLERK

Maria Ehorn

201 North Lassen Street
Willows, CA 95988
(530) 934-7041

1. CALL TO ORDER – 7:00 p.m.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

4. PUBLIC COMMENT/WRITTEN COMMUNICATIONS

a. Public Comments:

Members of the public wishing to address the Commission on any item(s) not on the agenda may do so at this time when recognized by the Chair; however, no formal action will be taken unless a majority consensus of the Commission directs staff to place the item on a future agenda. Public is advised to limit discussion to one presentation per individual. While not required, please state your name and address for the record. (Oral communications will be limited to three minutes)

5. CONSENT AGENDA

Consent items are considered to be routine by the Planning Commission and will be enacted in one motion. There will be no separate discussion on these items unless a Commission Member requests, in which event the item will be removed from the consent agenda. It is recommended that the Commission:

a. Approval of minutes of the Regular Planning Commission Meeting held on June 16, 2021.

b. Approval of minutes of the Special Planning Commission Meeting held on June 30, 2021.

Comments from the public are welcome. The Chair will allow an opportunity for comments related to Public Hearings and each action item on the agenda. Please limit comments to three minutes per topic, and one comment per person per topic. Once comments conclude, please allow the Commission the opportunity to continue its consideration of the item without interruption.

6. REGULAR BUSINESS AGENDA/PUBLIC HEARING(S)

- a. Staff recommends Commission receive the staff report, attachments, discuss and upon conclusion, consider the adoption of the attached resolution **A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS GRANTING DESIGN REVIEW APPROVAL FOR A NEW 2739 SF COMMERCIAL BUILDING AND SITE IMPROVEMENTS FILE # DR-21-02 AND USE PERMIT APPROVAL FOR 148.70 SF OF ADDITIONAL INCIDENTAL SIGNAGE FILE #UP-21-03 TO TBS Holdings LLC FOR THE PROJECT LOCATED AT 1240 W WOOD STREET ASSESSORS PARCEL NUMBERS 001-041-014 & 001-041-015.**

7. COMMISSION/STAFF REPORTS/COMMENTS

a. Commission reports/Comments.

b. Staff Reports/Comments.

8. ADJOURNMENT

This agenda was posted on July 15, 2021

Maria Ehorn, Minute Clerk

A complete agenda packet, including staff reports and back-up information, is available for public inspection during normal work hours at City Hall or the Willows Public Library at 201 North Lassen Street in Willows or on the City's website at www.cityofwillows.org. In compliance with the Americans with Disabilities Act, the City of Willows will make available to members of the public any special assistance necessary to participate in this meeting. The public should contact the City Clerk's office at 934-7041 to make such a request. Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

The City of Willows is an Equal Opportunity Provider



ACTION MINUTES OF THE WILLOWS PLANNING COMMISSION REGULAR MEETING HELD JUNE 16, 2021

Meeting audio is available at the City of Willows website. This is not a live feature. Audio recordings are posted the succeeding business day following the scheduled Planning Commission Meeting.

Please visit www.cityofwillows.org for free PodBean recordings.

1. Chair Muller called the meeting to order at 7:00 p.m.
2. The meeting opened with the Pledge of Allegiance led by Chair Muller.
3. **Roll Call:**

Commissioners Present: Muller, Hansen, Woods, Griffith

Absent: Bobadilla

Staff Present: Karen Mantele, City Planner, Maria Ehorn, Minute Clerk

4. **Public Comment/ Written Communications:** None

5. **Consent Agenda:**

- a. Approval of minutes of the Regular Planning Commission Meeting held on May 19, 2021.

Action:

Motion: Vice Chair Hansen /Commissioner Woods

Moved to approve the minutes of May 19, 2021, as presented.

The motion passed 3/0 carried by the following voice vote:

AYES: Muller, Hansen, Woods,

NOES:

ABSENT: Bobadilla

ABSTAIN: Griffith

6. **REGULAR BUSINESS AGENDA/PUBLIC HEARING(S)**

- a. Staff recommends Commission receive the staff report, attachments, discuss and upon conclusion, consider the adoption of the attached resolution **GRANTING DESIGN REVIEW APPROVAL (FILE# DR-20-02) TO ELEMENT 7 WILLOWS, LLC TO ALLOW CONSTRUCTION OF A NEW 2,800 SF RETAIL COMMERCIAL BUILDING AND PROJECT SITE IMPROVEMENTS FOR PROPERTY LOCATED AT 102 HARVEST DRIVE, ASSESSORS PARCEL NUMBER 017-350-005.**

Casey Snow, the architect for Element 7 was in attendance and provided information on the building style.

Public hearing opened 7:13pm.

Public hearing closed 7:14pm.

Action:

Motion: Commissioner Griffith / Second: Commissioner Woods

Moved to approve the resolution entitled; GRANTING DESIGN REVIEW APPROVAL (FILE# DR-20-02) TO ELEMENT 7 WILLOWS, LLC TO ALLOW CONSTRUCTION OF A NEW 4,252 SF RETAIL COMMERCIAL BUILDING AND PROJECT SITE IMPROVEMENTS FOR PROPERTY LOCATED AT 102 HARVEST DRIVE, ASSESSORS PARCEL NUMBER 017-350-005.

The motion passed 4/0 carried by the following voice vote:

AYES: Muller, Hansen, Woods, Griffith

NOES:

ABSENT: Bobadilla

ABSTAIN:

- b. Staff recommends Commission receive the staff report, attachments, discuss and upon conclusion, consider the adoption of the attached resolution **GRANTING DESIGN REVIEW APPROVAL (FILE# DR-21-04) TO HPD WILLOWS-OROVILLE LP TO INSTALL NEW FAÇADE TREATMENTS TO AN EXISTING COMMERCIAL APARTMENT BUILDING (WILLOWS OAKS APARTMENTS) AND INSTALL ADA IMPROVEMENTS FOR PROPERTY LOCATED AT 1201 W WOOD STREET, ASSESSORS PARCEL NUMBER 005-370-018.**

Public hearing opened 7:32. Doug Ross had a question regarding the color options.

Public hearing closed 7:35

Action:

Motion: Vice Chair Hansen / Second: Commissioner

Moved to approve the resolution entitled; GRANTING DESIGN REVIEW APPROVAL (FILE# DR-21-04) TO HPD WILLOWS-OROVILLE LP TO INSTALL NEW FAÇADE TREATMENTS TO AN EXISTING COMMERCIAL APARTMENT BUILDING (WILLOWS OAKS APARTMENTS) AND INSTALL ADA IMPROVEMENTS FOR PROPERTY LOCATED AT 1201 W WOOD STREET, ASSESSORS PARCEL NUMBER 005-370-018 WITH THE OPTION 1 COLOR SCHEME.

2. The motion passed 4/0 carried by the following voice vote:

3. AYES: Muller, Hansen, Woods, Griffith

4. NOES:

5. ABSENT: Bobadilla

6. ABSTAIN:

7. COMMISSION/STAFF REPORTS/COMMENTS.

a. Staff Reports/Comments: Karen Mantele gave brief updates/status of upcoming and ongoing projects.

b. Commission Reports/Comments: Commissioners gave comments/reports on activities and various meetings they attended.

8. ADJOURNMENT:

The meeting was adjourned at 8:24 p.m.

Hilgard Muller – Chair

Maria Ehorn – Minute Clerk



ACTION MINUTES OF THE WILLOWS PLANNING COMMISSION SPECIAL MEETING HELD JUNE 30, 2021

Meeting audio is available at the City of Willows website. This is not a live feature. Audio recordings are posted the succeeding business day following the scheduled Planning Commission Meeting.

Please visit www.cityofwillows.org for free PodBean recordings.

1. Chair Muller called the meeting to order at 3:00 p.m.
2. The meeting opened with the Pledge of Allegiance led by Chair Muller.
3. **Roll Call:**

Commissioners Present: Muller, Hansen, Woods, Griffith, Bobadilla

Absent:

Staff Present: Karen Mantele, City Planner, Wayne Peabody, Interim City Manager, Maria Ehorn, Minute Clerk

4. **Public Comment/ Written Communications:** None

5. **REGULAR BUSINESS AGENDA/PUBLIC HEARING(S)**

- a. Staff recommends Commission receive the staff report, attachments, discuss and upon conclusion, consider the adoption of the attached resolution **A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS GRANTING USE PERMIT APPROVAL (FILE # UP-21-02) ALLOWING THE ESTABLISHMENT OF A MOBILE FOOD UNIT AND DESIGN REVIEW APPROVAL OF THE CARPORT (FILE#DR-21-03) TO KALE GIESBRECHT (K&J BBQ) FOR PROPERTY LOCATED AT 244 E. CEDAR STREET, WITHIN THE CG ZONING DISTRICT ASSESSORS PARCEL NUMBER 002-302-005.**

City Planner, Karen Mantele, presented the item. Kale Giesbrecht was in attendance and answered questions from the Commission.

Public hearing opened 3:15 pm.

Public hearing closed 3:15 pm.

Action:

Motion: Vice Chair Hansen / Second: Commissioner Woods

Moved to approve the resolution entitled; GRANTING USE PERMIT APPROVAL (FILE # UP-21-02) ALLOWING THE ESTABLISHMENT OF A MOBILE FOOD UNIT AND DESIGN REVIEW APPROVAL OF THE CARPORT (FILE#DR-21-03) TO KALE GIESBRECHT (K&J BBQ) FOR PROPERTY LOCATED AT 244 E. CEDAR STREET, WITHIN THE CG ZONING DISTRICT ASSESSORS PARCEL NUMBER 002-302-005 WITH AMENDMENTS TO THE CONDITIONS OF APPROVAL AS DISCUSSED.

The motion passed 5/0 carried by the following voice vote:

AYES: Muller, Hansen, Woods, Griffith, Bobadilla

NOES:

ABSENT:

ABSTAIN:

- b. Staff recommends Commission receive the staff report, attachments, discuss and upon conclusion, consider the adoption of the attached resolution **A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF WILLOWS GRANTING MAJOR USE PERMIT APPROVAL (FILE # MUP-20-05) TO GARY EVANS ALLOWING A CHANGE OF USE FROM COMMERCIAL USE AS AN EXTENDED STAY MOTEL TO A 14 UNIT-MULTI-FAMILY RESIDENTIAL APARTMENT COMPLEX WITH NO CARPORTS FOR THE PROJECT LOCATED AT 601 N TEHAMA STREET ASSESSORS PARCEL NUMBER 005-283-015.**

City Planner, Karen Mantele, presented the item. Wayne Peabody, Interim City Manager, provided information and answered questions from the commission. Gary Evans was in attendance and answered questions from the commission.

Public hearing opened 3:55 pm. Doug Ross spoke on the issue.

Public hearing closed 4:00 pm.

Action:

Motion: Vice Chair Hansen / Second: Commissioner Woods

Moved to approve the resolution entitled; GRANTING MAJOR USE PERMIT APPROVAL (FILE # MUP-20-05) TO GARY EVANS ALLOWING A CHANGE OF USE FROM COMMERCIAL USE AS AN EXTENDED STAY MOTEL TO A 14 UNIT-MULTI-FAMILY RESIDENTIAL APARTMENT COMPLEX WITH NO CARPORTS FOR THE PROJECT LOCATED AT 601 N TEHAMA STREET ASSESSORS PARCEL NUMBER 005-283-015 WITH AMENDMENTS AS STATED AND A REVIEW IN 6 MONTHS.

The motion passed 5/0 carried by the following voice vote:

AYES: Muller, Hansen, Woods, Griffith, Bobadilla

NOES:

ABSENT:

ABSTAIN:

6. COMMISSION/STAFF REPORTS/COMMENTS.

- a. Staff Reports/Comments: Karen Mantele gave brief updates/status of upcoming and ongoing projects.
- b. Commission Reports/Comments: Commissioners gave comments/reports on activities and various meetings they attended.

7. ADJOURNMENT:

The meeting was adjourned at 4:03 p.m.

Hilgard Muller – Chair

Maria Ehorn – Minute Clerk

Planning Commission Agenda Report:**July 21, 2021**

Project: Design Review (File#DR-21-02) & Use Permit (File #UP-21-03)
 New commercial building with site improvements and additional incidental signage

Applicant(s)/Owner: Greg Borchardt @PM Design Group/TBS Holdings LLC

Project Location: 1240 W. Wood Street

Parcel Nos: 001-041-014 & 001-041-015

Zoning: Highway Commercial (HC)

General Plan: Highway Commercial

Project Description

The applicant on behalf of the property owner, has submitted Design Review and Use Permit planning applications for review and consideration by the Commission for a new 2,739 square foot fast food restaurant commercial building, to include a double drive through. Site improvements to include ADA accessible parking stalls and path of travel, striped parking lot, new trash enclosure, and other site related improvements associated with new development. The project sits on two lots which will have to be merged. Entrance into the building is from the north and west sides of the building. The proposed hours of operation are Monday-through Sunday 6:00am to midnight for dining room area eating, and 24-hours operation for the drive through. The number of employees on largest shift is eight.

Review Process

This matter is before the Planning Commission pursuant to Willows Municipal Code Section 2.45, 18.135, and 18.65.020(3).

Zoning

The two parcels are located on W. Wood Street (one sits south of the front lot) with the same zoning to the south, north and east. To the west is Entryway zoning. Past uses on the parcels were auto repair/tire businesses. However, all buildings have now been demolished, including the car wash. The front parcel history was a Texaco gas station, which petroleum tanks have been removed per the applicant. The zone allows for many commercial uses, and restaurants are one of the permitted uses allowed per WMC 18.65.020(3).

Design Review Analysis:

Competent Design. The proposed structure has been designed by professional architects/engineers licensed within the State of California to meet the building code standards of development. The single-story building will have parapets to screen the rooftop where the mechanical equipment will be located. The height of the building with the parapet is between 20 - 23 feet high.

Relationship between Structures within the Development and between Structures and Site: The new structure will be placed along the southeastern side of the parcels (when combined) and visible from W. Wood Street. The Design Review code states that *“The design shall show that due regard has been given to orientation of structures to streets, climatic considerations, and especially, the creation and utilization of open space.”* Placing the building along the eastern property line allows for a larger open space for parking and landscaping. There are no awnings on the western side of the building, only a cover over the entrance.

Relationship between Development and Neighborhood: The addition of a 2739 SF retail structure will not be out of character for the neighborhood, as commercial uses surround this property.

Materials and Colors Used: The new building will have an exterior cement plaster sand finish with the main body color of a “Quartz Grey” color and a “Mindful Gray” color, both on the softer brown/grey scheme. The bottom of the building will have an accent color of “Black Fox” a darker brown color, with another accent element used on approximately 1/3 of the building, a porcelain tile-like look which will be a “Sweet Georgia Brown” color. Another accent color used in places on the building is “Red Bay” a deeper red/brown color. The top edge of the building will have aluminum coping in the Quartz Grey color. Corrugated wall panels in the red bay color are mixed in with the areas using this accent color.

Utility Service: All new utilities shall be placed underground as conditioned by the Engineering Department.

Lighting. Lighting will be installed on the site. Exterior building wall fixtures will be installed on the building and required to be downcast. LED pole light standards will be located in the parking lot. A photometric plan shall be submitted for review to ensure that lighting will not be over glaring and/or project onto adjacent property. The code states *Light sources shall not create a glare or hazard on adjoining streets or be annoying to adjacent properties or residential areas.*

Signage: The sign plans submitted did not propose a pole sign, however staff was informed recently that they intend to install one. This can be part of the conditions. This project will install other new signage to advertise and sell their products. More discussion on signage under Use Permit, as the proposed amount of incidental signage exceeds the allotted amount per the sign code.

Wall, Fences or Screening: No new walls or fences around the property perimeter are proposed with this project. An enclosed trash receptacle is included on the site, located in the far southern portion of the lot area and will be screened and enclosed with a gate. All waste and recycling including cardboard will be in a secured, screened space. The trash hauler was concerned of drive through stacking causing a problem with them getting to the enclosure. However, given the layout of the site there is sufficient room for movement of their vehicles and still allowing the users access to the drive through area. A loading zone is provided for delivery of goods and equipment.

Surface Water Drainage: All surface/on-site water shall drain properly. The code states that *Stormwaters shall be removed and carried away in an adequate drainage system. Surface water and all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicles or pedestrian traffic and will not create puddles on the paved areas.* The project is conditioned as such within the Engineering conditions.

Landscaping: Landscaping is proposed for the site to include trees, shrubs and ground cover, which will border the entire site. Trees have been placed in the parking areas in order to provide future shade for users.

Drives, Parking and Circulation: Access to the project site will be provided by one of two driveways located along Wood Street. Parking will be provided for all uses per Municipal Code Section 18.120.020. Parking requirements for Restaurants is one parking space for each 200 SF of gross floor area or one parking space for every four seats. Additionally, one parking space for every two employees. Using the SF calculation, the site would require 14 parking spaces plus 4 for the employees (18). Using the seat calculation, the site would require 16 parking spaces plus 4 for the employees (20). Therefore, the equation to use for this project is the seat requirement. The proposal calls for 64 indoor seats. The plan

calls for a total of 30 parking spaces, which is more than sufficient to meet the needs and code requirement.

Use Permit Analysis:

The project proposes two types of signage; an 8' high x 5.5' wide monument sign, with the company brand logo, and building and marquee signage to include both identity and incidental signage. The building frontage and the parking lot frontage equates to allowing 138 SF of identity signage (*which advertises the business name*). This project proposes approximately 136.48 SF of identity signage, which includes the monument sign, and the wall signs, thereby meeting the allowed amount of identity signage square footage.

The proposed incidental signage, which includes the poster marquee and menu signs (*prices and products for sale*), totals 208.70 SF, which exceeds the allowed 60 SF, allowed per the Sign Ordinance, by approximately 148.70 SF. To note the Commission in the past has allowed incidental signage to be increased by way of a use permit, by applying Table 18.125.150-A, which states higher totals of identity signage require a use permit approval. However as stated, the Commission has with other similar projects, allowed an increase in the incidental signage through this section. The sign package has been attached for the Commission's review.

Environmental Review and Analysis

The project, new construction of a small structure, has been reviewed pursuant to the California Environmental Quality Act (CEQA). City staff has determined that the proposal is exempt from further CEQA pursuant to Section 15303 Class 3 (New Construction).

Findings of Fact

Based upon the facts and conclusions contained within this staff report the following findings must be made in order to approve the applicant's request for a Use Permit to allow the additional incidental signage:

1. The proposed use is consistent with the goals, objectives, policies and programs of the city of willows general plan and any applicable design guidelines.
2. The proposed use conforms to applicable development standards and provisions of this title and will not be detrimental to the public health, safety and welfare.
3. The physical location or placement of the use is compatible with the surrounding neighborhood and does not pose a safety risk.

In accordance with Section 18.135.030 notice of this public hearing was published in the local newspaper ten (10) days prior to the public hearing and all property owners as indicated on the latest secured Assessor's records within 400 feet of the subject property were sent notice of the hearing.

STAFF RECOMMENDATION:

Staff recommends the Commission review the proposal and if appropriate adopt the attached draft resolution recommending Design Review and Use Permit approval for a new Jack in the Box commercial building, site improvements and allow additional signage, subject to the conditions of approval as shown in Attachment #2.

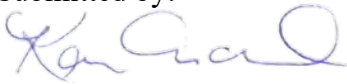
PLANNING COMMISSION OPTIONS:

- 1) Recommend approval of the Design Review & Use Permit proposal and subject to Conditions of Approval as described in Attachment 2
- 2) Deny the Design Review and Use Permit applications with appropriate findings for denial

Attachments:

1. Draft Planning Commission Resolution
2. Proposed Conditions of Approval
3. Applicant statement
4. Site Plan/Elevations/Landscape plans
5. Signage Plan
6. Zoning & General Plan Map

Submitted by:



Karen Mantele
Principal Planner

**THE APPLICANT IS REMINDED THAT THERE IS A 10 (TEN) DAY APPEAL PERIOD
FOLLOWING THE PLANNING COMMISSION DECISION ON THE USE PERMIT
PURSUANT TO Chapter 18.135.060**

Site Photos



Former Bldg on back lot (2018)



Former buildings on front lot



Looking north



Looking south across Wood Street

DRAFT

PC RESOLUTION NO. _____-2021

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
WILLOWS GRANTING DESIGN REVIEW APPROVAL FOR A NEW 2,739 SF
COMMERCIAL BUILDING AND SITE IMPROVEMENTS FILE # DR-21-02 AND
USE PERMIT APPROVAL FOR 148.70 SF OF ADDITIONAL INCIDENTAL
SIGNAGE FILE #UP-21-03 TO TBS HOLDINGS LLC FOR THE PROJECT
LOCATED AT 1240 W WOOD STREET ASSESSORS PARCEL NUMBERs 001-
041-014 & 001-041-015**

WHEREAS, the applicant, PM Design on behalf of the property owner TBS Holdings, LLC has filed for Design Review approval to allow a new 2,739 SF commercial building with site improvements; and,

WHEREAS, City of Willows Municipal Code Section 2.45.030 requires all new commercial buildings and physical improvements obtain Design Review approval, and,

WHEREAS, City of Willows Municipal Code Section 18.125.150 establishes signage requirements and allows for additional square footage with an approved Use Permit; and

WHEREAS, notice of the Planning Commission meeting held on July 21, 2021, was published in a newspaper of general circulation in the City in accordance with law, and mailing to property owners within 400 feet were sent; and,

WHEREAS, the Planning Commission did, on July 21, 2021, hold a public hearing to consider all public oral and written comments, letters and documents, staff reports, and all other documents and evidence which are a part of the Record; and,

WHEREAS, the Planning Commission has reviewed all evidence submitted in connection with the application, including public testimony, staff report, supporting documentation, City codes and regulations, and all other relevant documents and evidence which are part of the record of proceedings; and,

WHEREAS, the Planning Commission finds that the proposal is considered exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 New Construction, Class 3; and,

WHEREAS, the Planning Commission does finds that the proposed use (additional signage) is consistent with the purposes of the district (HC) in which the site is located,

- a) as the proposed business is a restaurant allowed within the zoning district, and signage to advertise their products is essential in selling the product;
- b) The Commission finds that allowing 148.70 square feet of additional incidental signage under Section 18.125.150 is allowed for the new business with use permit approval.

WHEREAS, the Planning Commission does find that the proposed use is consistent with the goals, objectives, policies and programs of the City of Willows general plan, as restaurants are permitted to advertise their products, which the applicant is requesting additional signage to do so; and,

WHEREAS, the Planning Commission does find that the proposed use conforms to applicable development standards and provisions of this title and will not be detrimental to the public health, safety and welfare, as conditions of approval shall provide for the signs to adhere to the codes, and standards; and,

WHEREAS, the Planning Commission does find that the physical location or placement of the use (incidental signage) is compatible with the surrounding neighborhood and does not pose a safety risk as the signage shall abide by the conditions adopted for the project.

NOW THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Willows does hereby find that the Design Review proposal to allow the construction of a new commercial building with site improvements and Use Permit proposal for additional signage is consistent with the City of Willows Municipal Code and General Plan, and findings incorporated, and hereby approves Use Permit #UP-21-03 And# DR-21-02, subject to the attached conditions of approval set forth in Attachment #2.

IT IS HEREBY CERTIFIED that the foregoing Resolution was duly adopted at a regular meeting of the Planning Commission of the City of Willows on Wednesday, the 21st day of July 2021 by the following vote, to wit:

AYES _____
NOES _____
ABSTAIN _____
ABSENT _____

APPROVED: _____
Hilgard Muller, Chairperson

ATTEST: _____
Maria Ehorn, Recording Secretary

**File#UP-21-03 & DR-21-02
CONDITIONS OF APPROVAL
FOR JACK IN THE BOX PROJECT
FOR PROPERTY LOCATED AT 1240 W WOOD STREET
APN(S): 001-041-014 & -015**

PC approval date: _____, 2021

General

1. That the applicant/developer shall enter into a Pass Through Agreement with the City of Willows to pay the cost of all planning review, plan checking and field inspection of this development.
2. If the use (*additional incidental signage*) is not made on the project subject to the permit within one (1) year after the date of granting the permit, then without further action, the permit shall be null and void, and such use shall not be made of the property except upon the granting of a new permit.
3. All plans for additional uses, which are not covered by this review, shall be submitted to the City Manager/Planning Commission for review and approval prior to use.
4. The Architectural Design Review approval shall expire in one year unless otherwise stipulated by the Planning Commission. The applicant may apply to the City for an extension of not more than one year from the original date of expiration, if found that there has been no substantial change in the factual circumstances surrounding the originally approved design. Substantial changes and any further extension beyond one year shall require Planning Commission approval.
5. The developer shall adhere to the design and specification of the Architectural Design Review approval for the exterior façade improvements, to include the proposed material/color scheme of the new building, compliant parking spaces, landscaping, signage, trash enclosure and necessary site improvements as shown on the plans submitted with the application. An occupancy permit shall not be issued in part or whole for any building or group of buildings subject to design review unless and until the work specified in the design review approval has been completed, including landscaping. If for any valid reason full compliance cannot be made; a cash bond shall be posted for the work to be completed within a reasonable period of time as determined by the City Manager or his authorized representative.
6. A revised sign package shall be submitted. Any new business signage shall require sign permit approval from the Planning Department prior to installation. Any sign requiring building permit approval shall obtain one prior to installation of sign.
7. All building mounted and site lighting shall be shielded lights, down lights, and or full cut off lights so that the bulb is not visible from off-site and light does not create glare or hazard onto adjoining properties/streets. Cut sheets shall be submitted with building plans. All lighting must meet the City Standards.
8. All landscaping shall be maintained in good condition and any dead or dying plants, bushes, or trees shall be replaced with new healthy stock of a size compatible with the remainder of the growth at the time of replacement.
9. The approval of this project shall be subject to the latest adopted Ordinances, Resolutions, Policies and fees of the City of Willows.

10. In the event that archaeological remains or artifacts are uncovered during construction activities, work shall be stopped, and a qualified archaeologist shall survey the site. The archaeologist shall submit a report with recommendations of the disposition of the site. Disposition may include, but is not limited to, excavation and documentation, capping the site, or leaving the site in an open space area. The recommendations of the archaeologist shall be incorporated in the project.
11. All contractors/sub-contractors doing work on the project shall obtain a City business license prior to commencing work.

Building Department

12. If you intend to construct, enlarge, alter, repair, move, demolish, or change the occupancy of the building or structure or to erect, install, alter, repair, remove, convert, or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by code, or to cause any such work to be done, you shall first make application for a building permit and obtain the required permit for the development.
13. Applicant shall submit a completed building permit application with detailed scope of work, 3 complete sets of plans, calculations, specifications, etc. for review. Appropriate plan review fees shall be paid at the time of submittal.
14. All work shall comply with current applicable Federal, State, local building codes and ordinances and be shown on the plans submitted for building permit review.
15. Conditions of approval shall be shown on the plans submitted for building permit review.
16. Prior to issuance of a Building Permit for the construction of any structures on the site, a Final Lighting Plan shall be submitted to the City and reviewed by the Engineer. The final lighting plan shall include, but not limited to the following: (a) details regarding exterior lighting with lighting sources that are full cut-off, hooded, and down-cast, or otherwise shielded to ensure that light does adversely shine towards neighboring properties or toward the night sky, (b) lighting sources with the minimum wattage necessary to provide adequate security without causing excessively bright night glow, (c) sufficient details regarding the proposed wattage and area of coverage for all site lights.

Fire Department

17. Development impact fees are applicable to this project and shall be paid prior to the issuance of a building permit.
18. All buildings will have fire sprinkler systems provided. The Fire Department shall review all sprinkler plans prior to installation. WMC 15.15.110
19. All fire and security alarm systems must meet the approval of the Fire Chief. WMC 15.15.120.
20. The Site shall be equipped with a Knox box holding a master key. WMC 15.15.130
21. Shall provide fire extinguishers in accordance with the 2019 CFC.

22. The building address shall meet all WMC 15.15.100 criteria and be reviewed and approved by the Fire Department prior to installation. An illuminated address sign shall be provided for the property.
23. Provide illuminated exit signs over all exit doors in accordance with the 2019 CBC and CFC.
24. Red curbs maybe required and will be reviewed at the time of construction/development of project.
25. All exit doors shall have no knowledge door locks, be posted "*this door to remain unlocked when building occupied*" and swing in the direction of exit travel.
26. Water flow calculations shall be provided after the installation of new hydrant to indicate that they meet water flow requirement minimums for this development.
27. On-site hydrant's will be required to have dedicated right-of-way easements to Cal Water and will follow Cal Water design and planning process.
28. FDC connection will be within 50' of hydrant and shown on site plan.
29. All utility rooms will need to be identified by signage.

CalWater Service

30. Need more information on water plans. An existing 2" service is currently on site. Will need additional fire service and hydrant onsite if required. Main is on opposite side of Wood Street. Will require Fire Dept sign off if hydrant is required.

County of Glenn Environmental Health

31. Recommend approval with the comment that all proposed food facilities must submit plans to Glenn County Environmental Health for review and approval before any construction can begin. Any questions can be directed to environmental@countyofglenn.net or 530.934.6102.

Cal Trans

32. Please provide a site plan that shows State Right of Way GLE 162/WEST WOOD ST. Please show the distance to the centerline. Advise identifying any possible vulnerable survey monuments in the development area that will need to be preserved and or/perpetuated, as required by PE Act 6731.2 and PLS Act 8771. Contact D3rwmaprequest@dot.ca.gov for any right of way map request/information needs.
33. Current driveways exist along site, with neither driveway exceeding the 35ft maximum width as specified in the Highway Design Manual (HDM) 205.3 Given the approximately 165 feet property frontage the total driveway width is expected to be within limits found in HDM 205.3.
34. The existing sidewalk/driveways are exhibiting signs of fatigue (cracking and possibly uneven settling). We recommend complete replacement of sidewalk/driveways, regardless of their current condition, exiting sidewalks/driveways must be checked for slopes and possibly other variable for conformance with ADA standards.
35. An encroachment permit will be required for any work, including but not limited to, work on sidewalks/driveways, that is withing the State Highway right-of-way. To apply, provide the application form, five sets of plans and local agency approval with environmental determination to the Encroachment Permits office at 703 B Street, Marysville, CA 95901, Attn Encroachment Permits.

Engineering Department:

General Conditions:

36. Developer shall design and construct all improvements and facilities shown on the design review plans submitted for permit approval in accordance with the Willows Municipal Code (WMC), the City of Willows Design and Construction Standards. Approval of a design review site plans depicting improvements that do not conform to the WMC or City standards does not constitute approval of an exception to the WMC or City standards unless explicitly stated herein or in another City resolution.
37. The developer shall be responsible for all City plan check, map check and inspection costs. The developer shall deposit funds with the City upon the initiation of plan check services. The amount of the initial deposit shall be determined by the City Engineer. Additional funds may be required based upon actual plan check and inspection costs.
38. Site improvement plans shall be prepared and submitted by a California Registered Civil Engineer for the construction of all necessary and required on-site and off-site improvements including grading, water, sanitary sewer, storm drain facilities, roadway improvements, curbs, gutters, and sidewalks. All design and construction shall conform to the City of Willows Design and Construction Standards, as applicable.
39. A detailed Soils Investigation/Geotechnical Report shall be prepared and submitted for review. The report shall address, at a minimum, potential for liquefaction, expansive soils and seismic risk. The improvement plans shall incorporate all design and construction criteria recommended in the Geotechnical Report.
40. All private water mains, sewer mains and storm drains shall be clearly labeled "Private" on the improvement plans.
41. The improvement plans shall show removal of the large pylon posts at the southwesterly corner of Parcel 1 (3 PM 81).
42. A lot merger shall be recorded prior to the issuance of a building permit.
43. Improvements plans shall include a storm water pollution prevention plan. Erosion control measures shall include hydroseeding of all graded slopes within 60 days of completion of grading.
44. Driveways into the proposed development shall be installed per the City's most recent standards and shall conform to the most recent ADA standards. If the sidewalk associated with the driveways must encroach onto private property outside of the right-of-way, pedestrian public access easements shall be provided by separate document and shall be recorded prior to issuance of a building permit.
45. Any work within the State right-of-way shall require a Caltrans encroachment permit. Proof of Caltrans' issued encroachment permit shall be required prior to issuance of a building permit for the project.
46. All sidewalk that is current cracked or displaced shall be replaced with the construction of the project.

47. All existing utilities shown on the site plan that conflict with the proposed new buildings (water, gas, electric, telephone, etc.) shall either be removed or properly abandoned. The improvement plans for the proposed project shall indicate removal or abandonment.
48. There appears to be an existing monitoring well located in the sidewalk fronting the project. The improvement plans shall indicate the disposition of this monitoring well (whether it will remain in place or be properly abandoned.) If it is to be abandoned, evidence of permission to abandon shall be provided to the City prior to issuance of a building permit, as well as required abandonment procedures.
49. The proposed pylon sign shall be installed such that it will not interfere with sight distance from either the property associated with this project, or the driveway entrance abutting the westerly property line.

Water and Sanitary Sewer Improvements:

50. Any existing sewer lines on the property that will not be used by the new project shall be abandoned and backfilled.
51. The project shall include installation of a grease separator prior to connection to the sewer main. If there is a proposed sewer lateral serving only restrooms, that sewer lateral does not have to be connected to the grease separator.
52. Sewer grades must be designed such that ultimate finished floors are a minimum of 12" above upstream manhole or clean-out rim elevations. Inadequate elevation differentials or grade on private laterals, as determined by the City, must be mitigated by either raising finished floor elevation(s) or installation of a backflow check valve.

Drainage Improvements:

53. All project related flooding impacts shall be mitigated by the project developer. Drainage improvements shall be designed in accordance with the Design Criteria utilizing the rationale method and any applicable adopted City drainage plans.

The applicant shall submit for review and approval, drainage plans and hydraulic calculations prepared by a Registered Civil Engineer. The drainage plans and calculations shall indicate the following conditions before and after development:

- a. Quantities of water, water flow rates, major water courses, drainage areas and patterns, diversions, collection systems, flood hazard areas, sumps, and drainage courses.
 - b. Post-development off-site flows shall not exceed pre-development flows.
54. Low Impact Development (LID) improvements shall be provided for on the plans along with calculations submitted with the first plan check of the improvement plans.
55. All existing easements shall be shown on the plans. If existing easements are provided for the benefit of other parcels, either the proposed improvements shall preserve the easements or shall provide new easements prior to the issuance of a building permit.
56. No grading or other construction shall be performed until the improvement plans have been approved and signed by the City Engineer. Encroachment Permits and Building Permits will not be issued prior

to the approval of the improvement plans. An Encroachment Permit is required for any work within the City's rights of way.

57. The developer shall keep adjoining public streets free and clean of project dirt, mud, materials, and debris during the construction period, as is found necessary by the City Engineer.
58. If any hazardous waste is encountered during the construction of this project, all work shall be immediately stopped and the Glenn County Environmental Health Department, the Fire Department, the Police Department, and the City Inspector shall be notified immediately. Work shall not proceed until clearance has been issued by all of these agencies.
59. Where soil or geologic conditions encountered in grading operations are different from that anticipated in the soil and/or geologic investigation report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted for approval by the City Engineer. It shall be accompanied by an engineering and geological opinion as to the safety of the site from hazards of land slippage, erosion, settlement, and seismic activity. Additionally, if field conditions warrant installation of any subdrains, the location, size and construction details must be provided to the City for review and approval prior to construction.
60. All streets, curbs, gutters, sidewalks, or other public facilities damage in the course of construction associated with this development shall be the responsibility of the Developer and shall be repaired to the satisfaction of the City at the Developer's expense.
61. Dust control must be maintained to the City's satisfaction.
62. Working hours shall be restricted to the hours of 7:00 a.m. to 6 p.m., Monday through Friday.
63. Developer shall provide sufficient surety guaranteeing the public improvements for a period of one year.

**PM Design Group, Inc**

6930 Destiny Dr., Ste. 100

Rocklin, CA 95677

P: 916.415.5358

F: 916.303.4330

March 31, 2021

Karen Mantele
City of Willows Planning
201 N. Lassen Street
Willows, CA 95988

RE: Jack in the Box; 1240 W. Wood Street - Project Description

Dear Ms. Mantele:

The project proposes constructing a new 2,739 sq. ft. Jack in the Box restaurant with a double drive-thru. The finishes on the exterior will be a mixture of stucco, tile, and branding panels. These branding panels are a Jack in the Box trademark look which have colored backlighting that creates a soft "glow" appearance, and the color can be changed based on the time of day. The parapets will be built to a height to screen the existing rooftop equipment. The height will vary to give the building additional dimension. LED lighting will also add to the appeal of the elevations. ADA accessible parking stalls and path of travel from the public right-of-way will also be installed. The look has a contemporary clean feel that will enhance the experience of the patrons and the appearance of the overall neighborhood.

Business conducted on the site is the typical fast-food restaurant with drive-thru. Hours of operation are Monday-Sunday 6:00am-Midnight for the Dining Room area, and 24 hours operation for the drive-thru. Number of employees on largest shift is eight.

Thank you,
Greg Borchardt
PM Design Group

Office Locations

Dallas • Denver • Los Angeles • Phoenix • Portland • Sacramento • San Francisco • Seattle

www.pmdginc.com

EARTHWORK QUANTITIES:

CUT: 14 CY.
FILL: 1,100 CY.
NET: 1,086 CY. (IMPORT)

QUANTITIES ARE FOR ESTIMATING PURPOSES ONLY.
CONTRACTOR TO VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

OWNER INFORMATION:

JACK IN THE BOX INC.
9330 BALBOA AVENUE SAN
DIEGO, CALIFORNIA 92123.

SITE INFORMATION:

ZONING: CH (COMMERCIAL HIGHWAY)
OCCUPANCY: A-2 - RESTAURANT
BUILDING AREA: 2,739 SQ.FT.

SITE ADDRESS:

1240 W. WOOD STREET
WILLOWS, CALIFORNIA 95988.

APN:

001-041-014
001-041-015.

LEGAL DESCRIPTION:

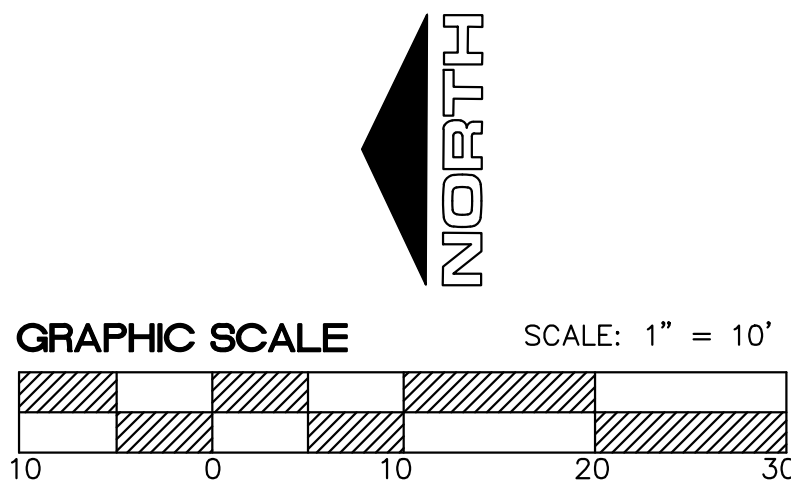
PARCEL ONE 3 PM 81
PARCEL TWO 3 PM 81.

PARCEL SIZE/GRADING AREA:

LOT AREA: 40,323 SF = 0.92 ACRE
AREA OF GRADING: 40,178 SF = 0.92 ACRE

CONSTRUCTION NOTES:

- EXISTING BUILDING TO BE DEMOLISHED.
- EXISTING ELECTRIC LINE.
- EXISTING WATER LINE.
- EXISTING TELEVISION LINE.
- EXISTING SEWER LINE.
- EXISTING GAS LINE.
- EXISTING WATER METER FOR LANDSCAPE IRRIGATION. INSTALL BACKFLOW PREVENTER.
- EXISTING SEWER CLEANOUT.
- PROPOSED DIRECTIONAL SIGN.
- PROPOSED WALL SIGN.
- PROPOSED MONUMENT SIGN.
- PROPOSED PYLON SIGN.
- PROPOSED "THANK YOU/DO NOT ENTER" SIGN.
- PROPOSED CREASE INTERCEPTOR.
- PROPOSED HEIGHT CLEARANCE.
- CONNECT PROPOSED 2" WATER LINE TO EXISTING WATER METER.
- PROPOSED 2" GAS LINE.
- PROPOSED 4" SEWER LATERAL AND SCO.
- PROPOSED 6" SEWER LATERAL FROM THE TRAP TO THE SCO.
- PROPOSED 4" SEWER LATERAL FROM THE BUILDING TO THE TRAP.
- PROPOSED 6" CONC. CURB PER CITY & COUNTY STANDARDS.
- PROPOSED 6" CONC. CURB AND GUTTER PER CITY & COUNTY STANDARDS.
- PROPOSED LANDSCAPE.
- PROPOSED LANDING AND RAMP.



FIRE DEPARTMENT:

CITY OF WILLOWS
445 SOUTH BUTTE STREET
WILLOWS, CALIFORNIA 95988.

UTILITIES:

CALIFORNIA WATER SERVICE COMPANY.
530-934-4735
WWW.CALWATER.COM

TV:

COMCAST CABLE COMPANY
1-800-266-2278

PHONE:

AT&T
1-800-288-2020
WWW.ATTINTERNETSERVICE.COM

GAS:

PG&E
1-800-743-5000
WWW.PGE.COM

TRASH:

WASTE MANAGEMENT
1-866-825-7190
WWW.WM.COM

SEWER:

CITY OF WILLOWS
201 NORTH LASSEN STREET
WILLOWS, CALIFORNIA 95988
530-934-7041

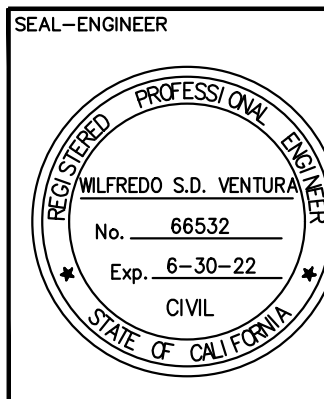
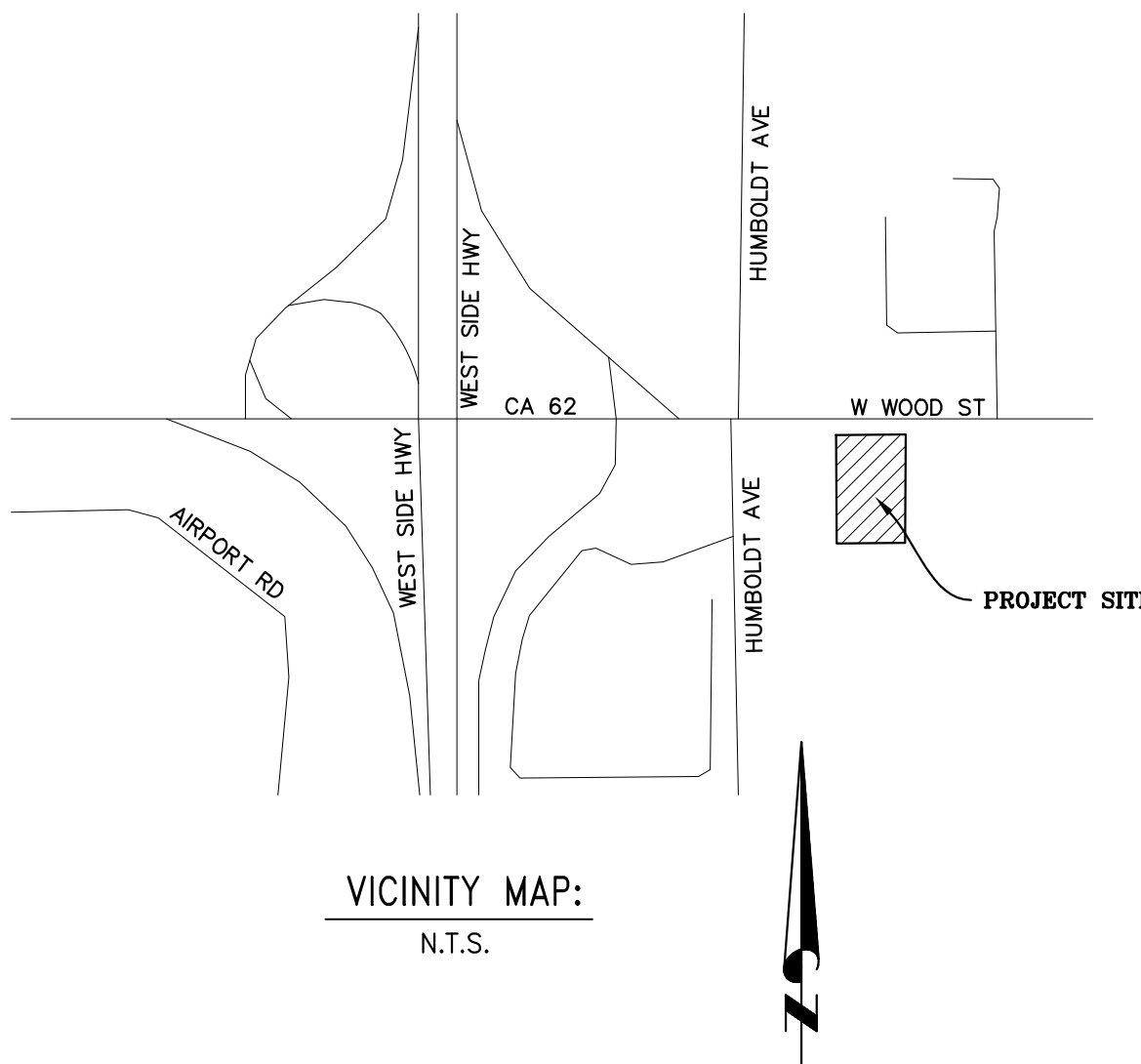
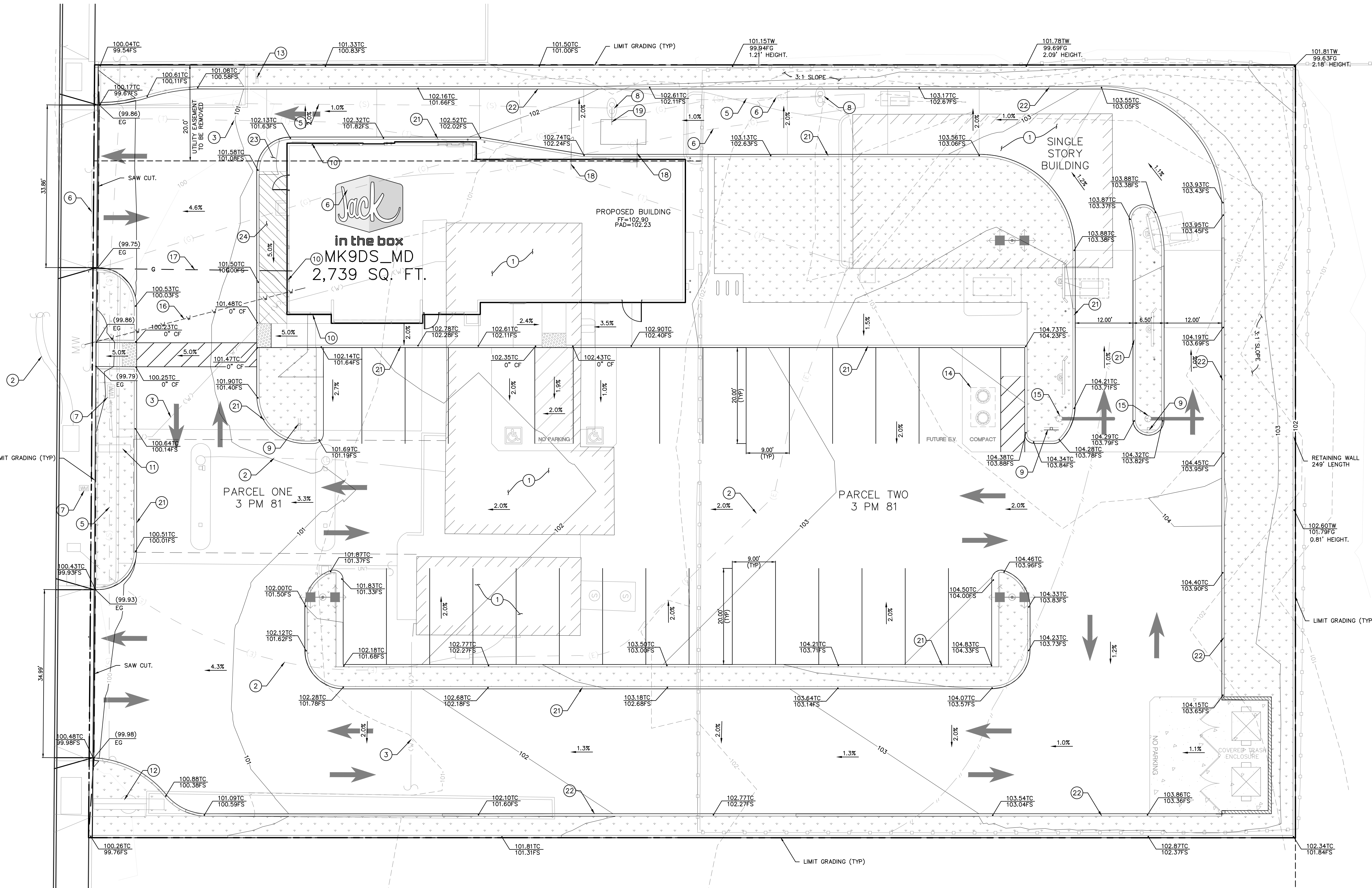
EXISTING UTILITIES NOTE:

ALL UNUSED EXISTING UTILITIES TO BE FOUND, CAPPED, ABANDONED, ETC.
AS NEEDED PER CITY INSPECTOR.

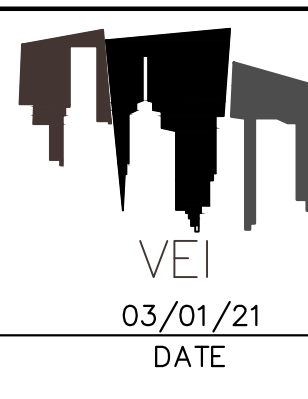
ASPHALT PAVEMENT

STATE HIGHWAY 162

W. STREET



ENGINEER OF WORK
Ventura Engineering Inland, INC
27393 Ynez Road, Suite 159
Temecula, CA 92591
Phone: (951)252-7632
wilfredo@venturaengineeringinland.com
Wilfredo Ventura
WILFREDO S.D. VENTURA
RCE 66532 EXP. 06/30/22



BENCHMARK:
ELEVATION: 100.00 FEET.
DATING: ASSUMED.
POINT I.D.: CSI POINT #1
DESCRIPTION: SET MS.
LOCATION: SEE MAP HEREON.
BASIS OF BEARING:
THE BEARING IN 0015'50" W BEING THE EASTERLY
LINE OF PARCEL ONE AS SHOWN ON THE PARCEL
MAP FILED FOR RECORD IN BOOK 3 OF PARCEL
MAPS AT PAGE 81 IN THE OFFICE OF THE RECORDER
FOR THE COUNTY OF GLENN, STATE OF CALIFORNIA.

DRAWN
VD
DESIGNED
VD
CHECKED
WV
SCALE
AS SHOWN
JOB NUMBER
VEI 2020-437

CITY OF WILLOWS
1240 W. WOOD STREET
WILLOWS, CALIFORNIA 95988
CONCEPTUAL GRADING PLAN

SHEET NO.
C1.0
SHEETS 1 OF 1
FILE NO.

DATES

RELEASE: OCT. 02, 2017
P.M. UPDATES: SEPT. 27, 2019
SUBMITTAL DATE:
1: _____
2: _____
3: _____
BID: _____
CONSTRUCTION: _____

REVISIONS

△ _____
△ _____
△ _____
△ _____
△ _____
△ _____

OLIVE STREET
LANDSCAPE ARCHITECTURE
P.O. Box 2083
Petaluma CA 94952
707-280-8990
OliveStreetLandscape.com
rod@olivestreetlandscape.com



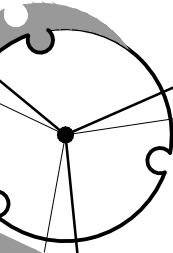
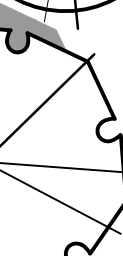
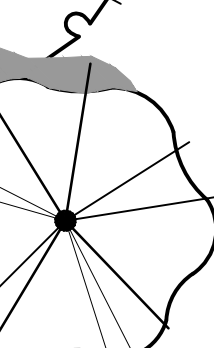








PM
DESIGN
Architectural
Solutions Group
6930 DESTINY DRIVE
SUITE 100
ROCKLIN, CA 95677
(916) 415-5358
rpedro@pmdginc.com
Ray W. Pedro, Architect

SITE INFORMATION

MK TYPE: MK9DS_MD
JOB #: 4387
ADDRESS:
1240 W. WOOD ST.
WILLOWS, CA 95988
DRAWN BY: _____
PROJECT #: WFM20001.0
SCALE: 1" = 16'

**LANDSCAPE
PLAN**
L1

PLANT SCHEDULE


TREES	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	
	10	Lagerstroemia indica 'Red Rocket' / Crape Myrtle	15 gal	Low	
	3	Ulmus x 'Frontier' / American Elm	15 gal	Moderate	
	2	Zelkova serrata 'Village Green' / Sawleaf Zelkova	15 gal	Moderate	
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	
	138	Callistemon viminalis 'Little John' / Dwarf Weeping Bottlebrush	5 gal	Low	
	95	Dietes x 'Lemon Drop' / Fortnight Lily	5 gal.	Low	
	98	Grevillea x 'Noellii' / Grevillea	5 gal	Low	
	68	Phormium x 'Dark Delight' / Dark Delight Purple Flax	5 gal.	Low	
	40	Rhaphiolepis umbellata 'Eleanor Tabor' / Yedda Hawthorn	5 gal	Low	
	63	Yucca x 'Bright Star' / Variegated Spanish Dagger	5 gal	Low	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
	24	Myoporum parvifolium / Trailing Myoporum	1 gal	Low	60" o.c.
	192	Rosa x 'Red Drift' / Drift Rose	1 gal.	Low	30" o.c.

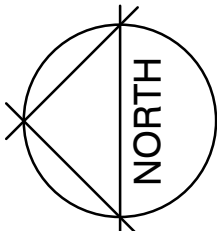
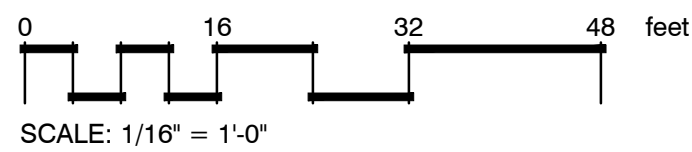
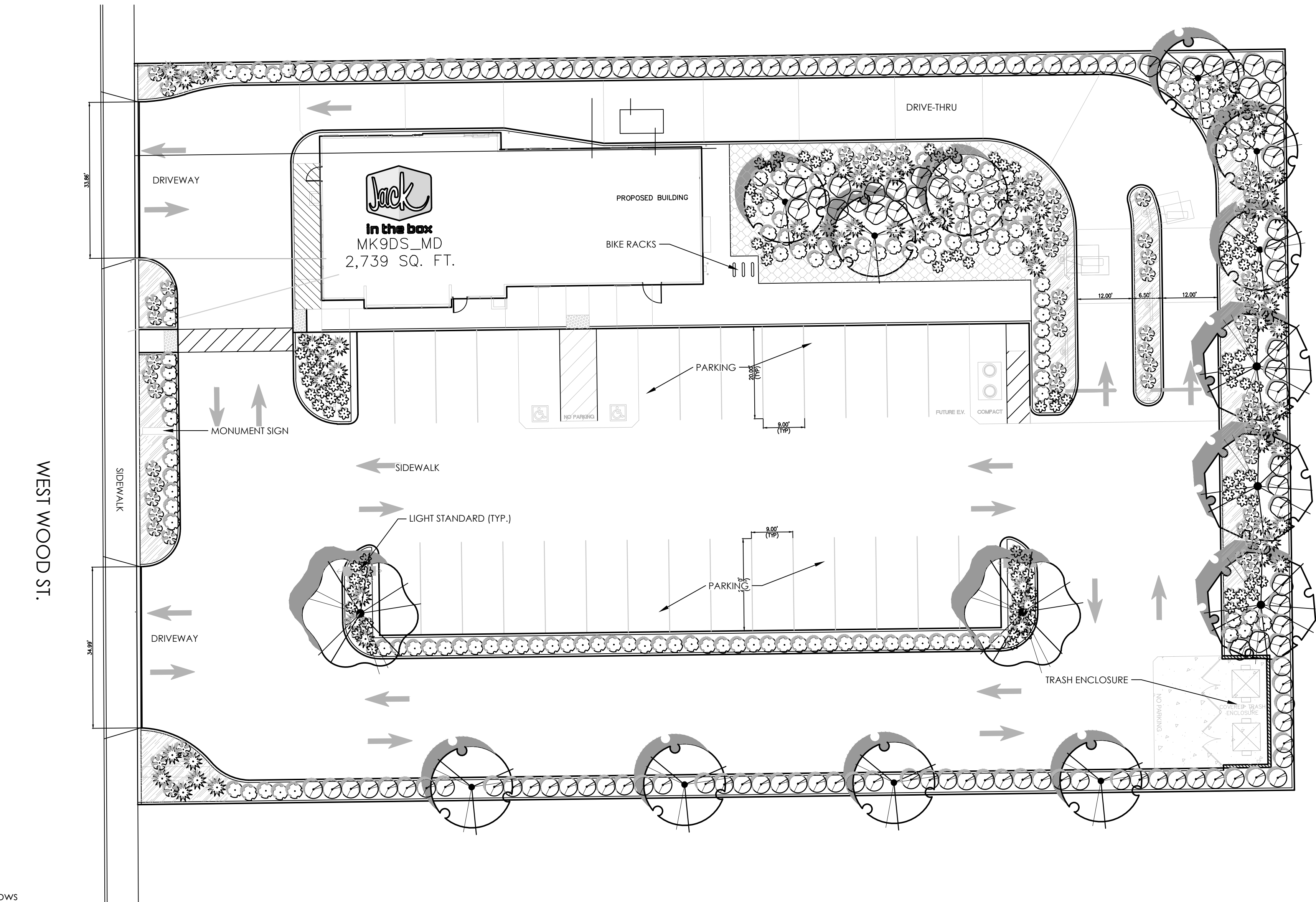
GENERAL NOTES

- All landscape planting areas shall receive a minimum 3" layer of organic mulch top dressing.
- All trees, shrubs and groundcover shall be irrigated with a drip system, smart controller, weather sensor, etc.and shall meet City of Willows Water Efficient standards/regulations.
- All new trees located within 7' of pavement or permanent structure shall have a root barrier.

COMPLIANCE STATEMENT

I have complied with the criteria of the water use ordinance and applied them accordingly for the efficient use of water in the landscape design plan.


3-4-21



Water Efficient Landscape Worksheet

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
REGULAR LANDSCAPE AREA							
LOW WATER USE PLANTS	.3	D RIP	.81	.37	8,305	3,073	97,740 GAL.
MODERATE WATER USE PLANTS	.5	D RIP	.81	.62	125	78	2,481 GAL.
TOTALS					(A) 8,430	(B)3,151	
ETWU Total							100,221 GAL.

Maximum Applied Water Allowance (MAWA). MAWA= $\frac{[ETo]}{[51.3]} \times \frac{[Conversion\ factor]}{.62} \times ([ETAF](Landscape\ Area)) + ((1-ETAF) \times SLA)$
 $\frac{[51.3]}{[51.3]} \times \frac{[.62]}{.62} \times (.45 \times 8,430) + ((1-.45) \times 0) = 120,656 \text{ GALLONS}$

Estimated Total Water use (ETWU). ETWU= $\frac{[ETo]}{[51.3]} \times \frac{[Conversion\ factor]}{.62} \times ([ETAF](Area))$
 $\frac{[51.3]}{[51.3]} \times \frac{[.62]}{.62} \times (3,151) = 100,221 \text{ GALLONS}$

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area	(B) 3,151
Total Area	(A) 8,430
Average ETAF	(B / A) .37

Note:
1. Average ETAF for Regular Landscape Areas must be below .55 for residential areas and .45 for non-residential areas.

DATES

RELEASE: OCT. 02, 2017

P.M. UPDATES: SEPT. 27, 2019

SUBMITTAL DATE:

1: _____

2: _____

3: _____

BID:

CONSTRUCTION:

REVISIONS

△	_____
△	_____
△	_____
△	_____
△	_____
△	_____

OLIVE STREET
LANDSCAPE ARCHITECTURE

P.O. Box 2083
Petaluma CA 94952
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6930 DESTINY DRIVE
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(916) 415-5358
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Ray W. Pedro, Architect

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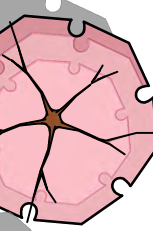









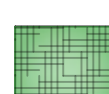
DRAWN BY: _____

PROJECT #: WFM20001.0

SCALE: 1" = 16'

LANDSCAPE
PLAN
L1

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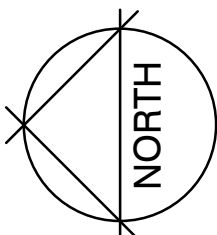
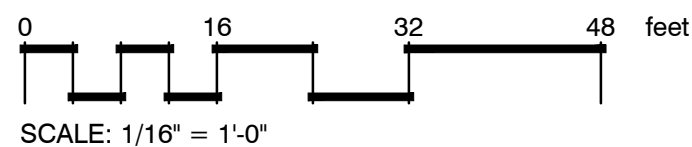
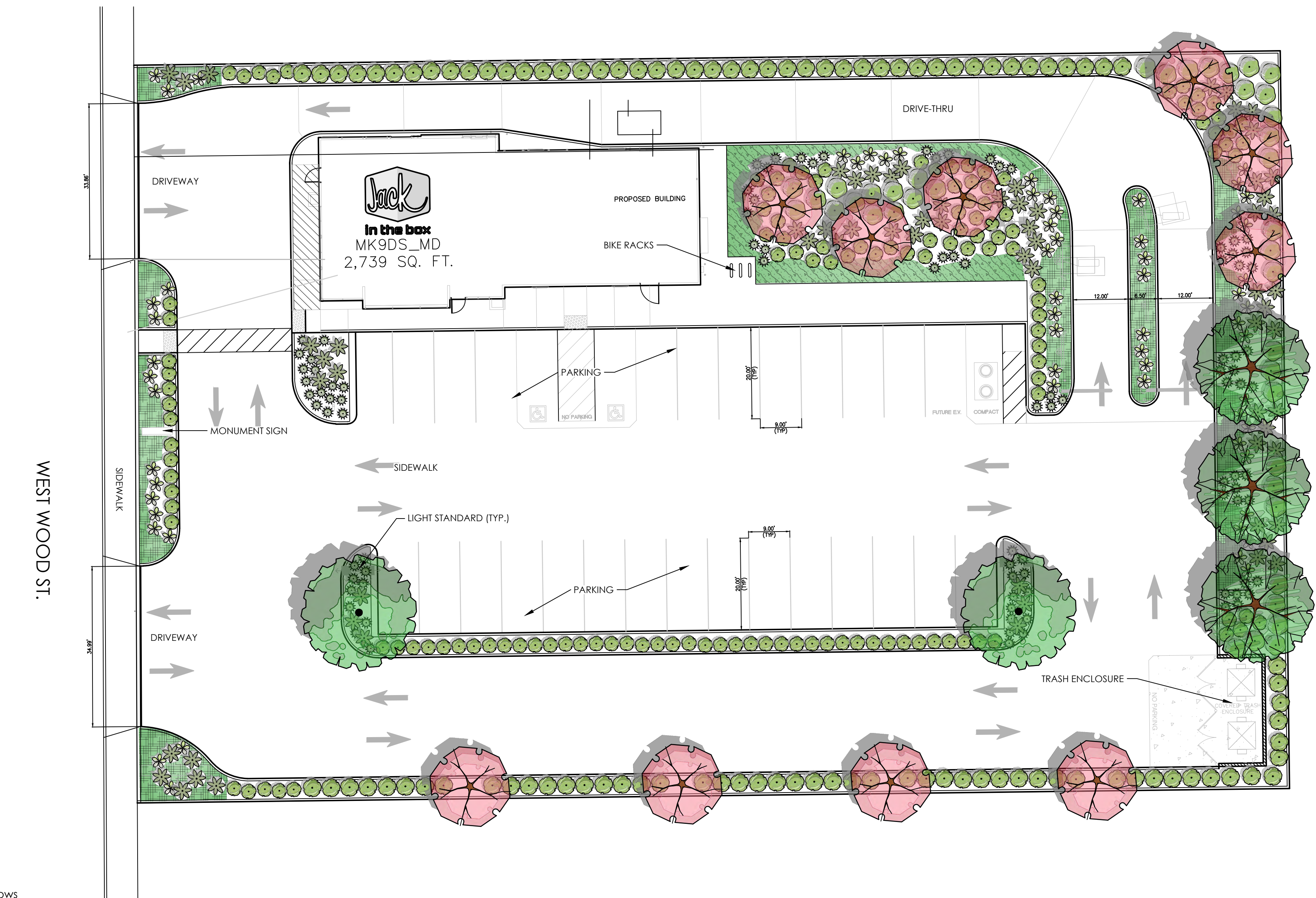
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Rodney Scaccalosi

3-4-21



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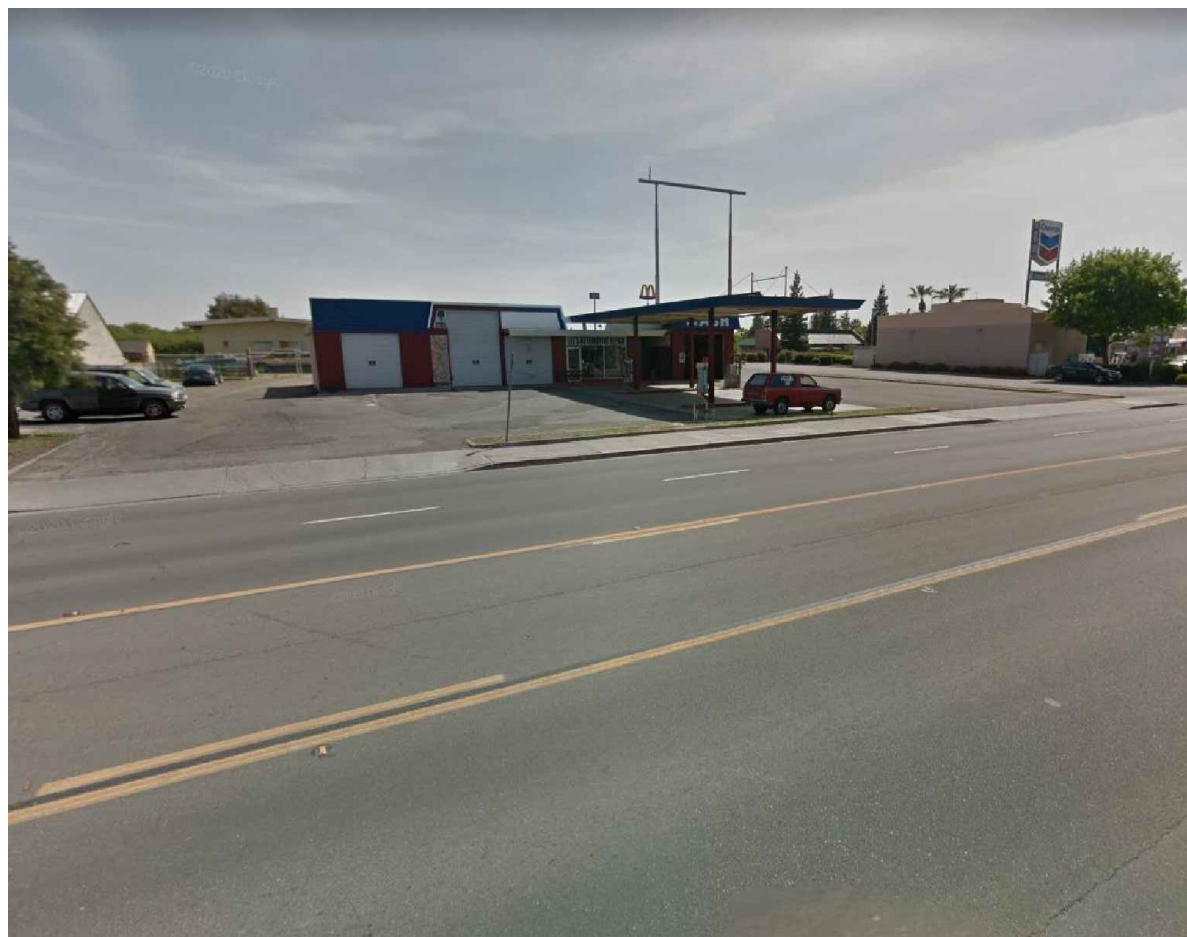


PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4

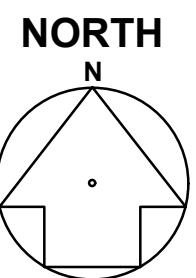
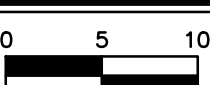


PHOTO 5



AERIAL SITE PLAN

SCALE: 1" = 10'



NOTE:
SITE DEMO ARE UNDER SEPARATE PERMIT

Jack in the box®
9330 BALBOA AVENUE
SAN DIEGO, CA 92123
© 2017 Jack in the Box Inc.
These designs, drawings and specifications are the property of Jack in the Box Inc. and shall not be copied or reproduced without its previous written consent.

DATES

RELEASE: OCT. 02, 2017
P.M. UPDATES: SEPT. 27, 2019
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LICENSED ARCHITECT
ROY W. PEDRO
NO. C-28504
REN. 1/31/23
STATE OF CALIFORNIA

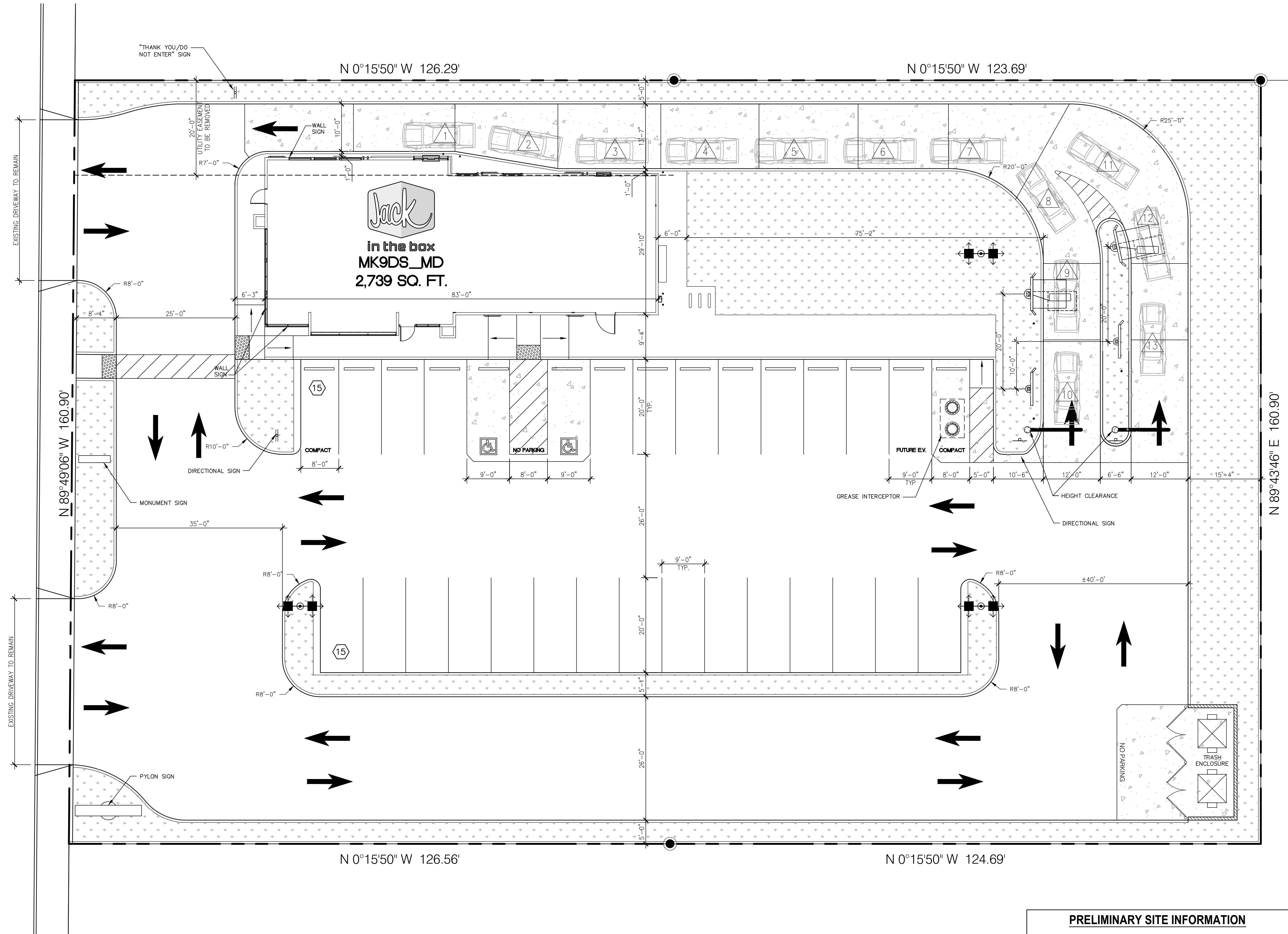
PM DESIGN
Architectural
Solutions Group
6930 DESTINY DRIVE
SUITE 100
ROCKLIN, CA 95677
(916) 415-5358
pedro@pmdginc.com
Roy W. Pedro, Architect

SITE INFORMATION

MK TYPE: MK9DS_MD
JIB #: 4387
ADDRESS:
1240 W. WOOD ST.
WILLOWS, CA 95988
DRAWN BY: _____
PROJECT #: WFM20001.0
SCALE: 1" = 20'

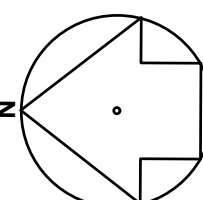
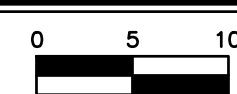
**EXISTING AERIAL
SITE PLAN
AND PHOTOS
SD0.0**

WOOD STREET



PROPOSED SITE PLAN

SCALE: 1" = 10'



NORTH

PRELIMINARY SITE INFORMATION

ZONING:	CH (COMMERCIAL HIGHWAY)
OCCUPANCY:	A-2 - RESTAURANT
SEATING:	60 INDOOR SEATS NO OUTDOOR DINING SEATING
BUILDING AREA:	2,739 SQ.FT.
PARKING REQUIRED:	1 SPACE PER 200 SQ. FT. = 2739/200 = 13.7 SPACES
PARKING PROVIDED:	25 STANDARD SPACES 2 ADA ACCESSIBLE SPACES 2 COMPACT SPACES 1 FUTURE E.V. SPACES 30 TOTAL SPACES



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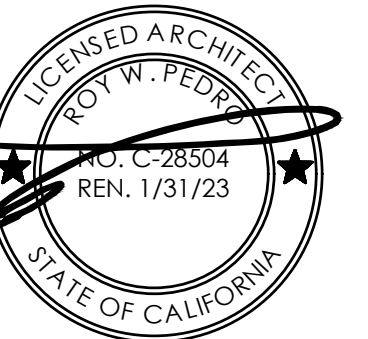
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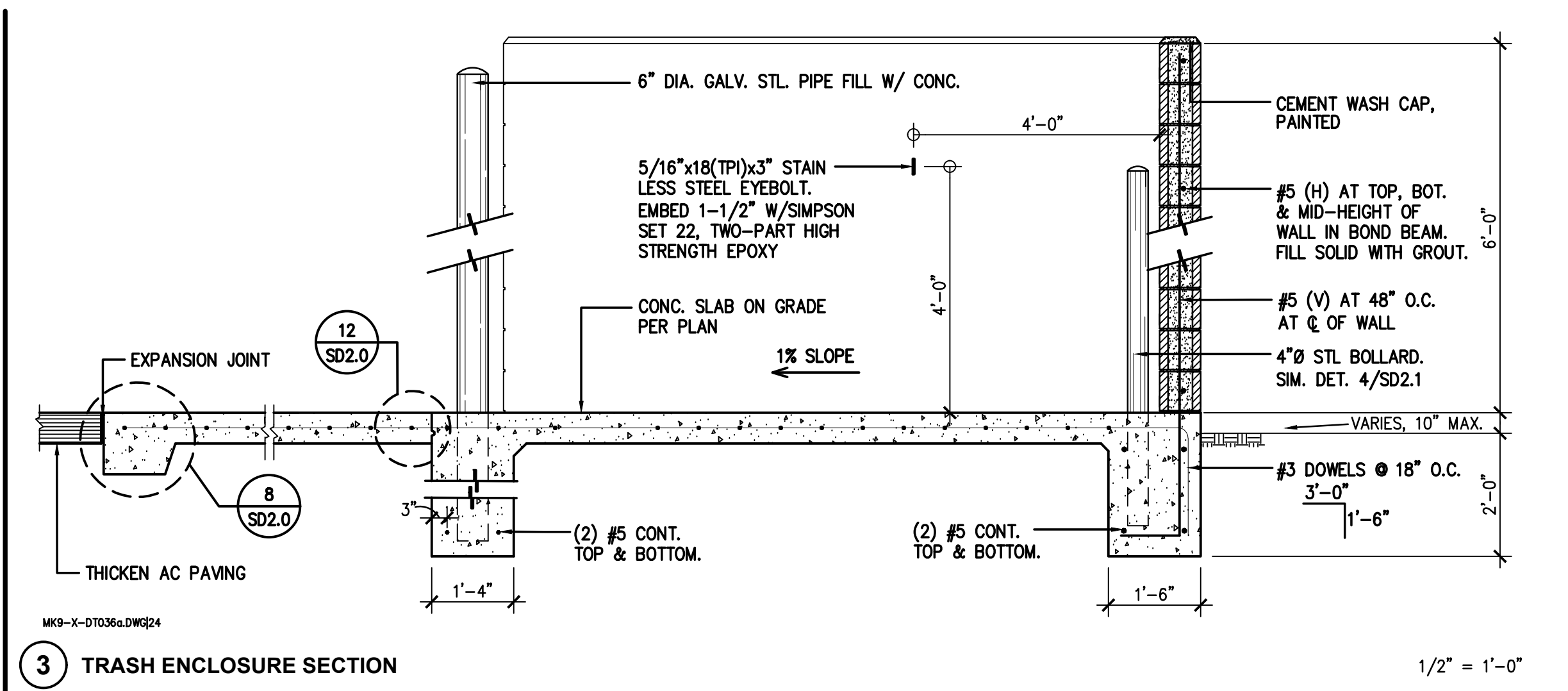
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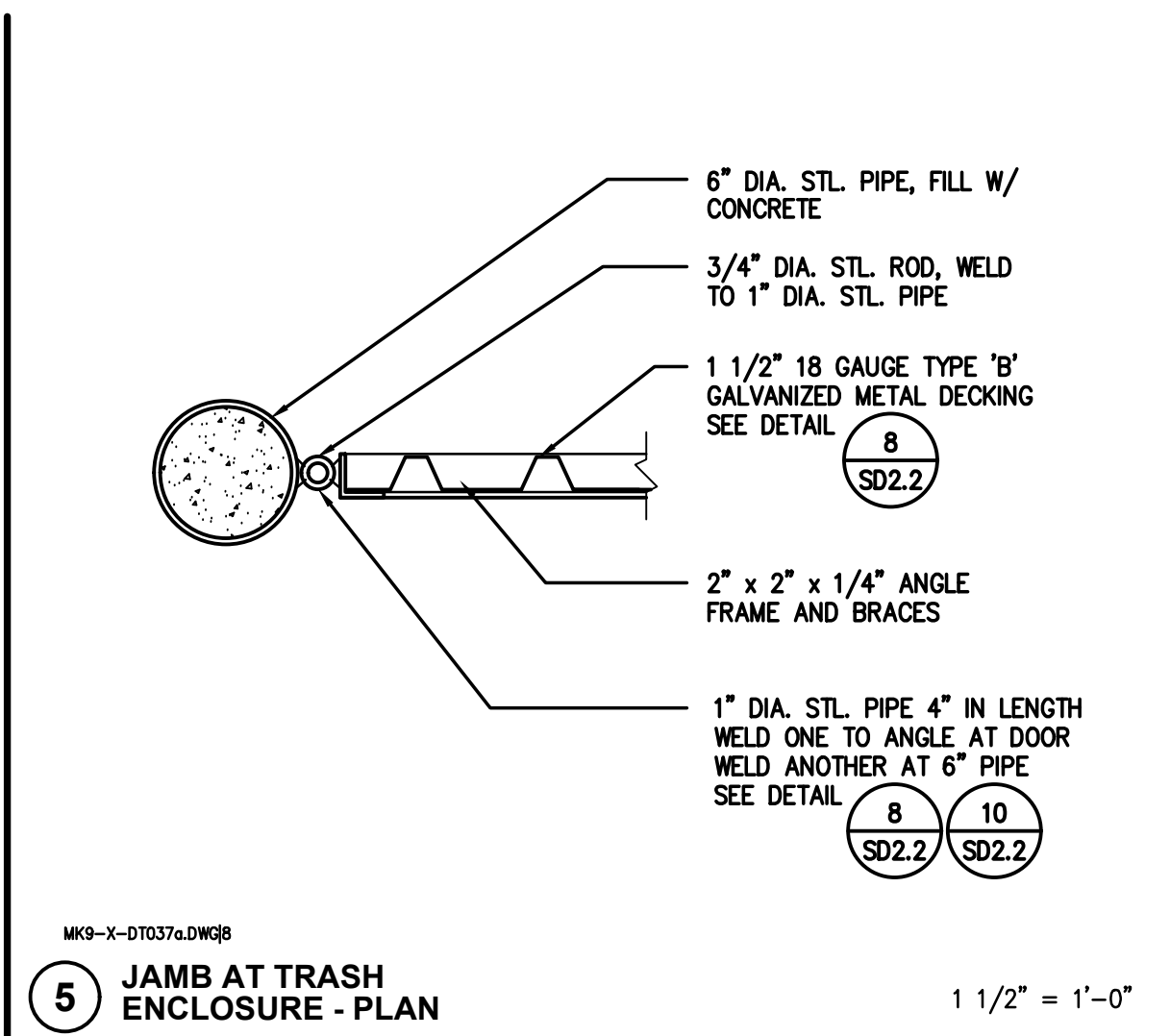
SCALE: 1" = 10'

PROPOSED
SITE PLAN

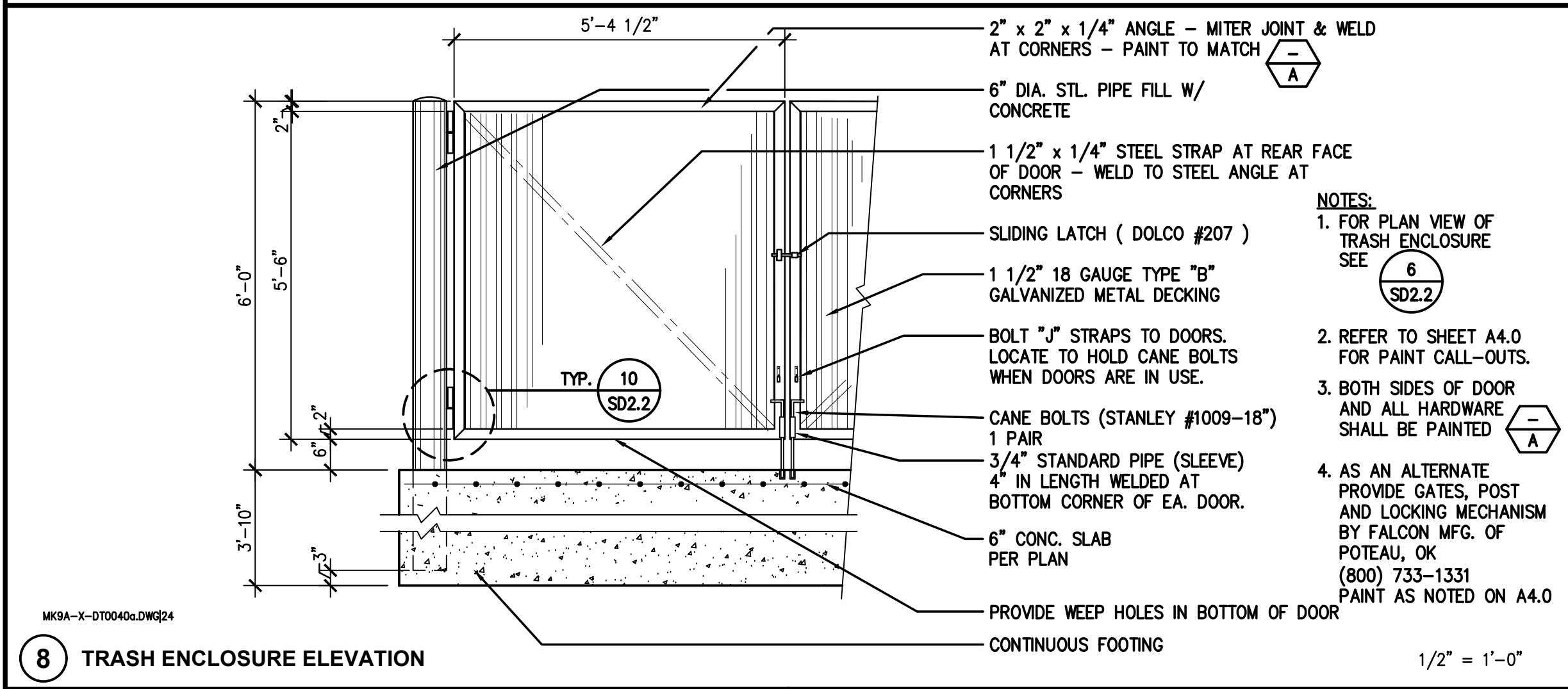
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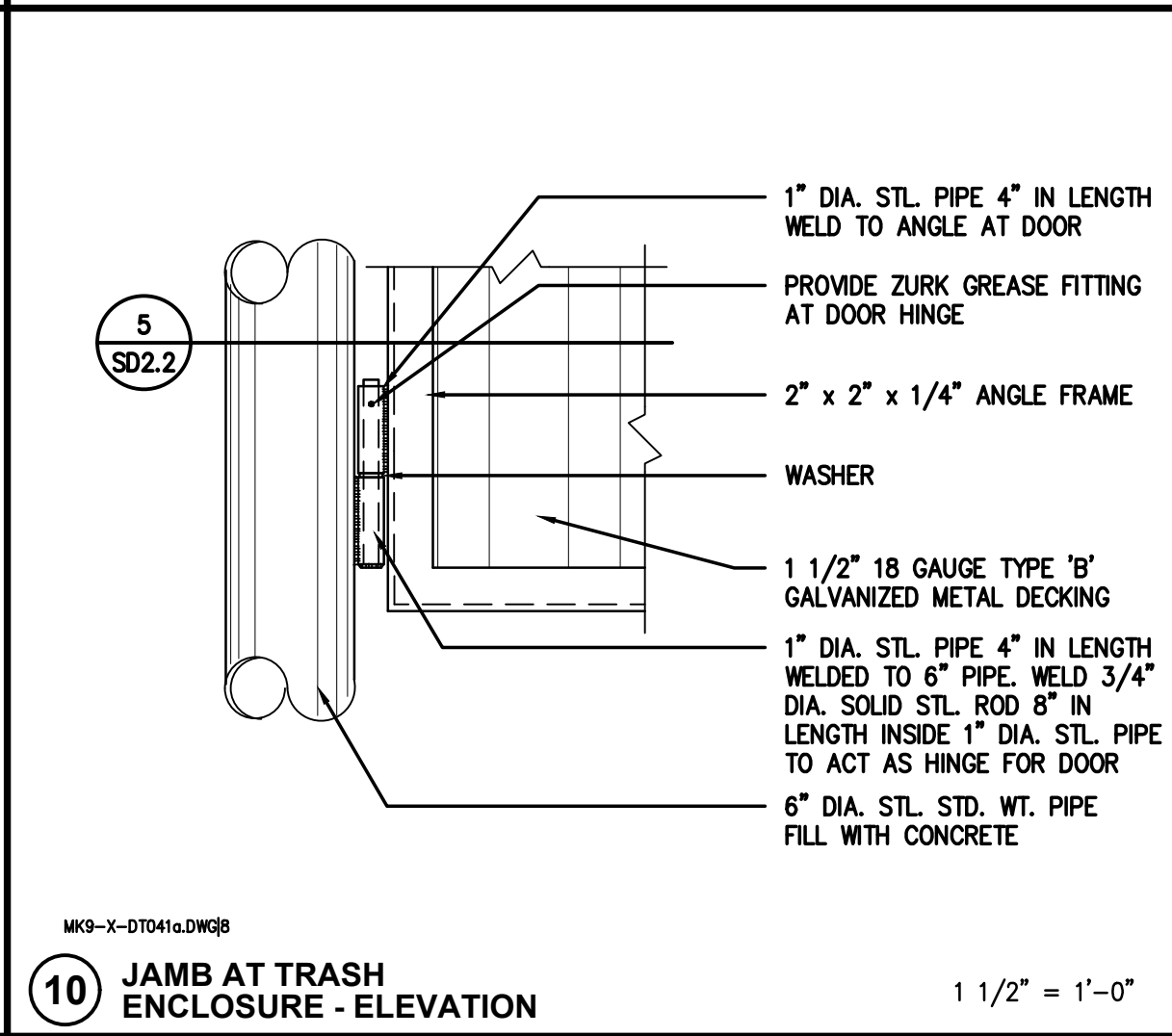
3 TRASH ENCLOSURE SECTION



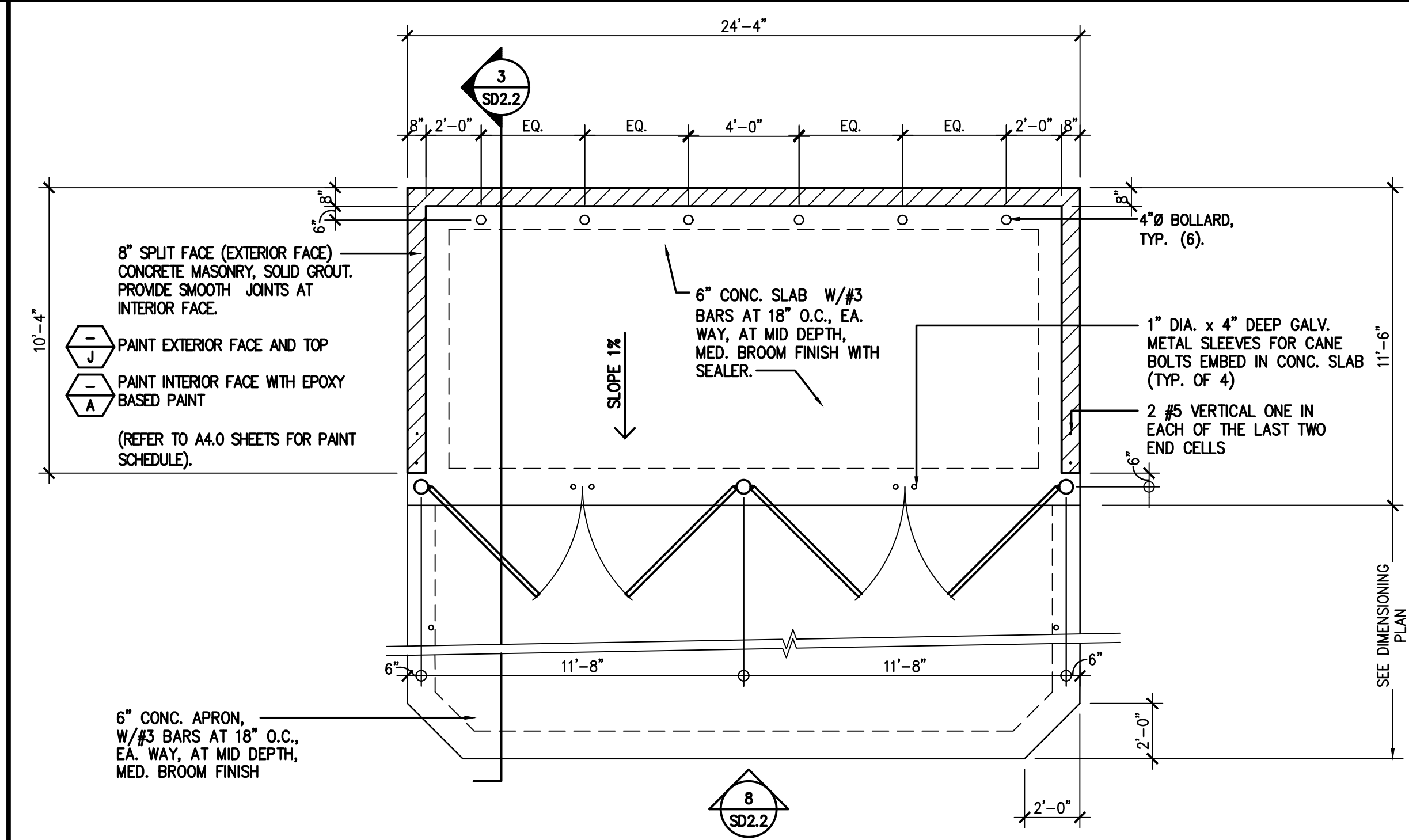
5 JAMB AT TRASH ENCLOSURE - PLAN



8 TRASH ENCLOSURE ELEVATION



10 JAMB AT TRASH ENCLOSURE - ELEVATION



- NOTES**
- ALL CONC. BLOCK MORTAR JOINTS SHALL BE FLUSH & SMOOTH AT INSIDE FACE.
 - SEE SITE PLAN FOR LOCATION OF TRASH ENCLOSURE.
 - SEE EXTERIOR ELEVATIONS SHEET A4.0 FOR FINISH SCHEDULE.
 - THE TRASH ENCLOSURE PAD SHALL BE SEALED WITH A "NON-PIGMENTED" CLEAR CONCRETE SEALER.

19 LARGE TRASH ENCLOSURE PLAN

NOTE TO DESIGNER ONLY - FREEZE THIS LAYER (G-DETL-NPLT-FYI) BEFORE PLOTTING: VERIFY THAT TRASH ENCLOSURE SIZE AND CONFIGURATION ACCOMMODATE LOCAL WASTE MANAGEMENT REQUIREMENTS.

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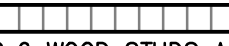
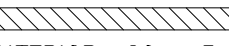
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PROJECT #: WFM20001.0
SCALE: AS NOTED

DETAILS

SD2.2

GENERAL NOTES

1. ALL DIMENSIONS SHOWN TO FACE OF EXTERIOR WALLS ARE FACE OF STUD, ALL DIMENSIONS SHOWN TO INTERIOR WALLS ARE TO CENTERLINE OF STUD, OR FACE OF FINISH GYPSUM BOARD OR PLYWOOD.
2. ALL EXTERIOR WALLS SHALL BE 2x6 WOOD STUDS AT 16" O.C. W/ 5/8" WATER RESISTANT GYPSUM BOARD ON THE INTERIOR FACE, U.O.N.
3. ALL INTERIOR WALLS SHALL BE 2x4 WOOD STUDS AT 24" O.C. W/ 5/8" WATER RESISTANT GYPSUM BOARD ON BOTH SIDES, U.O.N.
- A.  INDICATES INTERIOR WALL FACE W/ 5/8" PLYWOOD IN LIEU OF 5/8" WATER RESISTANT GYPSUM BOARD.
-  INDICATES INTERIOR WALL W/ 1/4" GYPSUM BOARD OVER 5/8" PLYWOOD.
-  INDICATES EXTERIOR WALL W/ 5/8" GYPSUM BOARD OVER 5/8" GYPSUM BOARD TO BE FLUSH WITH INTERIOR WALL.
- B.  INDICATES INTERIOR WALLS THAT SHALL BE 2x6 WOOD STUDS AT 24" O.C.
- C.  INDICATES WALLS THAT SHALL BE: INTERIOR: 20ga 5 1/2" STL. STUDS AT 24" O.C. USE NON-COMBUSTIBLE BLOCKING AT THIS LOCATION.
- D. TYPICAL INTERIOR WALLS, SEE DETAILS 18/A9.2 AND 19/A9.2.
4. PROVIDE 2x SOLID BLOCKING IN WALLS AS REQUIRED FOR REINFORCEMENT OF ALL GRAB BARS, RESTROOM FIXTURES, PLUMBING LINES, WALL BUMPERS AND MILLWORK ATTACHMENT, ETC. SEE SHEET A7.0 FOR RESTROOMS AND SHEETS K2.0, K2.1, AND K2.2 FOR KITCHEN, EMPLOYEE AND WORKSTATION AREAS.

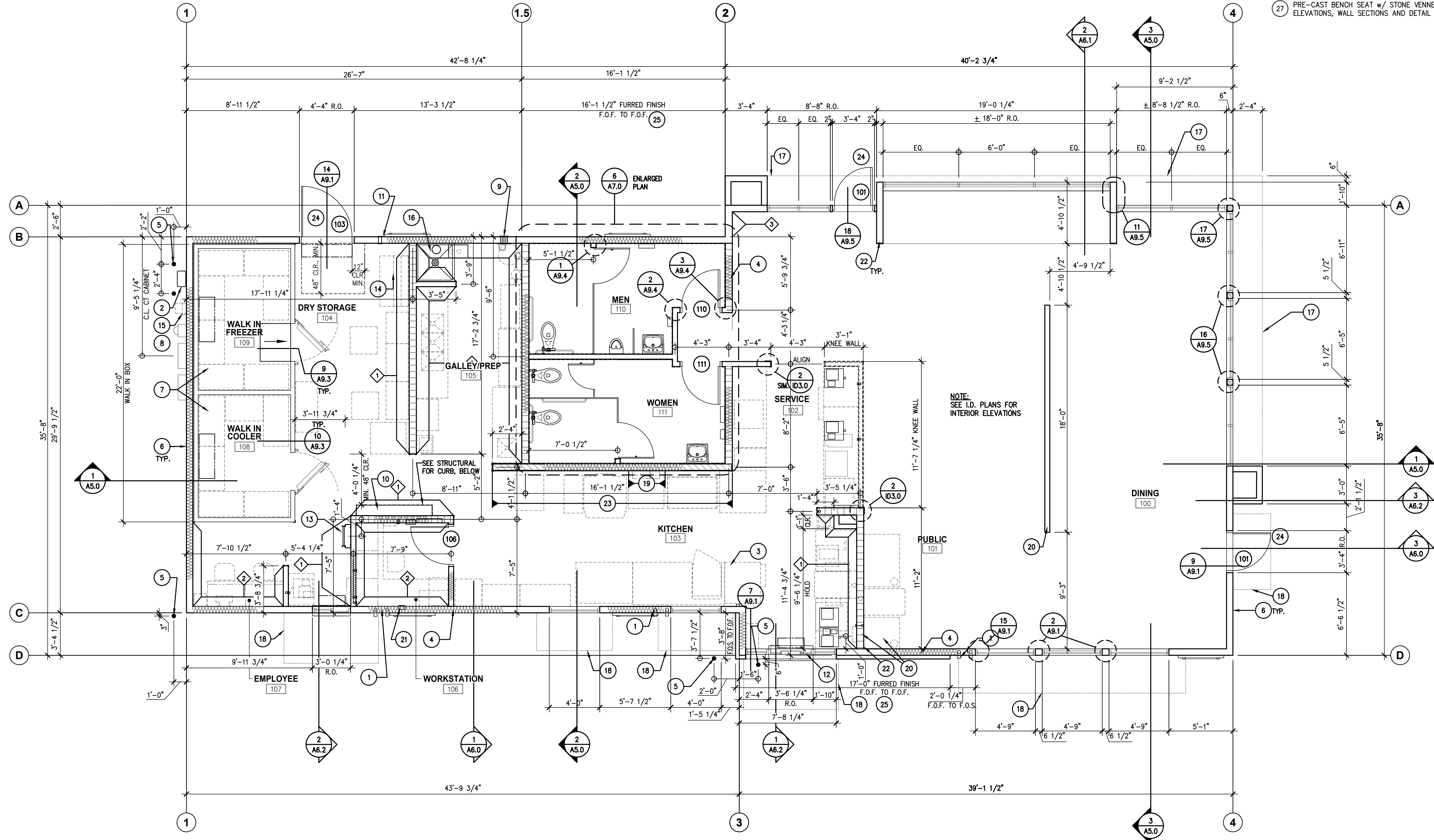
5. FOR EXTERIOR WALL TREATMENT, SEE EXTERIOR ELEVATIONS.
6. ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT ANY SPECIAL KNOWLEDGE OR EFFORT OR THE USE OF A KEY.
7. ALL EXTERIOR DOORS SHALL BE WEATHERSTRIPPED. ALL EXTERIOR JOINTS AROUND DOOR FRAMES & AT ALL PENETRATIONS THROUGH BUILDING ENVELOPE SHALL BE SEALED USING SEALANT & CAULKING. ADDITIONALLY, FOAM INSULATION SHALL BE PROVIDED IN & AROUND ALL WINDOW AND/OR DOOR FRAMES WHERE METAL MEETS WOOD FRAMING PLUS ALL EXTERIOR WALL OPENINGS/PENETRATIONS.
8. ALL GLAZING WITHIN DOORS AND OPERABLE WINDOW, AND ALL GLAZING ADJACENT TO DOORS SHALL BE TEMPERED AS REQUIRED BY CURRENT BUILDING CODE.
9. POST OCCUPANCY LOAD SIGN IN CONSPICUOUS PLACE NEAR MAIN EXITS AT 6'-10" A.F.F. CAULK AROUND ALL SIDES. "MAXIMUM SEATING CAPACITY - _____". FOR SEAT COUNT, SEE "BUILDING DATA" ON SHEET IS1.0.
10. ALL FINISH SURFACES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF CLASS C OR HIGHER (FLAME SPREAD INDEX 76 THROUGH 200 & A SMOKE DENSITY RATING OF 450).
11. ALL DRAPES, CURTAINS & DECORATIVE MATERIAL PROVIDED AND/OR INSTALLED BY THE GENERAL CONTRACTOR SHALL BE MADE FROM NONFLAMMABLE MATERIALS OR TREATED WITH FLAME RETARDANT AS APPROVED BY THE LOCAL FIRE MARSHAL.

12. OWNER SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL. GENERAL CONTRACTOR TO INSTALL.
13. BUILDING ADDRESS NUMBERS SHALL BE A MINIMUM 12" HIGH AND BE OF CONTRASTING COLORS.
14. ANY TIME THE BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE FLOOR LEVEL. SEE ELECTRICAL DRAWINGS.
15. PROVIDE EXIT SIGNS FOR EGRESS IDENTIFICATION. SEE ELECTRICAL DRAWINGS.
16. PROVIDE APPROVED EGRESS ILLUMINATION AND ILLUMINATED EXIT SIGNS. SEE ELECTRICAL DRAWINGS.

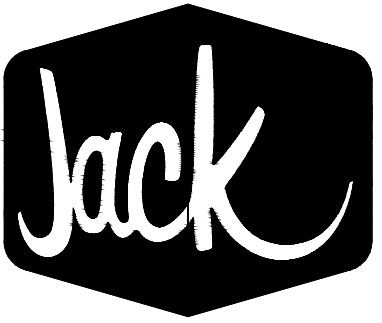
17. PROVIDE APPROVED PANIC HARDWARE ON EXIT DOORS.
18. CONTRACTOR TO PROVIDE BORIC ACID TERMITE PROTECTION IN ALL WALLS.
19. GENERAL CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE WORK OF THE FOOD SERVICE EQUIPMENT CONTRACTOR.
20. FOR ITEMS FURNISHED BY OTHERS & INSTALLED BY GENERAL CONTRACTOR SEE KITCHEN DRAWINGS.
21. CONSULT CONSTRUCTION MANAGER FOR REQUIREMENTS FOR AIR CURTAINS AT DRIVE THRU AND CASHIER WINDOWS AND AT DINING ENTRIES. PROVIDE DOOR SWITCHES AS NECESSARY.
22. EXIT AISLES SHALL MEET ALL APPLICABLE CODES.

1. ROOF DRAINS PER 11/A9.3. SEE SITE PLAN FOR CONTINUATION.
2. GAS METER, SEE PLUMBING DRAWINGS.
3. LINE OF FOOD SERVICE EQUIPMENT, SEE KITCHEN DRAWINGS.
4. R-19 BATT INSULATION IN ALL EXT. WALLS AND SOUND INSULATION IN ALL RESTROOM AND WORKSTATION WALLS.
5. BARRIER POST, TYP., SEE SITE DETAILS.
6. LINE OF CONCRETE CURB, TYP.
7. WALK-IN FREEZER AND COOLER, SEE KITCHEN DRAWINGS.
8. ELECTRICAL METER, SEE EXTERIOR ELEV. AND ELECTRICAL DRAWINGS.
9. CO2 FILL BOX, SEE EXTERIOR ELEVATIONS.
10. ELECTRICAL PANELS, SEE ELECTRICAL DRAWINGS.
11. GREASE TANK / BULK OIL SYSTEM BOX, SEE KITCHEN DRAWINGS.
12. COUNTER AT DRIVE-THRU WINDOW. SEE GENERAL NOTE 8 THIS SHEET AND DETAIL 13/A9.1.
13. LADDER TO ROOF, SEE DETAILS 10/A9.0 AND 20/A9.0.

14. GREASE TANK / BULK OIL SYSTEM, SEE KITCHEN DRAWINGS.
15. IRRIGATION CONTROLLER IN TAMPERPROOF ENCLOSURE, SEE LANDSCAPE AND ELECTRICAL DRAWINGS.
16. MOP SINK, SEE DETAIL 16/A9.2.
17. ROOF OVERHANG ABOVE.
18. LINE OF CANOPY, TYP.
19. PROVIDE NON-COMBUSTIBLE BLOCKING IN WALL FOR KITCHEN EQUIPMENT. SEE GENERAL NOTE 4 THIS SHEET FOR ADDITIONAL INFORMATION.
20. PARTIAL HEIGHT INTERIOR WOOD STUD WALL. SEE INTERIOR DRAWINGS AND DETAIL 20/ID3.1 FOR ADDITIONAL INFORMATION.
21. 6" BLOCK OUT AT THIS LOCATION FOR LIGHTING TIME CLOCK, SEE ELECTRICAL DRAWINGS.
22. END CAP ON WALL TO BE FLUSH W/ SOFFIT FINISH ABOVE. SEE INTERIOR DETAILS FOR ADDITIONAL INFORMATION.
23. INSTALL 5/8" GYPSUM BOARD OVER STEEL STUDS. DO NOT INSTALL F.R.P. BEHIND HOODS. SEE KITCHEN DRAWINGS FOR STAINLESS STEEL FINISH.
24. LANDING BEGINNING ELEV. 0'-0" TO SLOPE MAX 2% AWAY FROM BUILDING.
25. AREA OF ADDITIONAL FURRING.
26. TRELLIS PIER BASE WITH COLUMN. SEE STRUCTURAL DRAWINGS.
27. PRE-CAST BENCH SEAT w/ STONE VANNER. SEE EXTERIOR ELEVATIONS, WALL SECTIONS AND DETAIL #8 ON DRAWING A9.3.



KEY NOTES



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SUITE 100
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Roy W. Pedro, Architect

SITE INFORMATION

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JIB #: 4387

ADDRESS:
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WILLOWS, CA 95988

DRAWN BY: _____

PROJECT #: WFM20001.0

SCALE: 1/4" = 1'-0"

FLOOR PLAN

A1.0

1	CRICKET, TYP. SEE DETAIL <u>8/A9.0.</u>	9	GREASE EXHAUST FAN UNIT
2	32"x32" TILED ROOF WALKWAY, SEE SPECIFICATIONS.	10	HOSE BIBB AT +18" ABOVE ROOF LEVEL, SEE PLUMBING DRAWINGS.
3	CANOPY BELOW	11	HOOD BELOW
4	ROOF AND OVERFLOW DRAINS AT ROOF, SEE PLUMBING DRAWINGS AND DETAILS <u>1/A9.3</u> AND <u>6/A9.3.</u>	12	PLUMBING VENT, SEE DETAIL <u>12/A9.0.</u>
5	ROOF DRAIN OVERFLOW LEADERS DOWN IN WALL, SEE DETAIL <u>11/A9.3.</u>	13	LINE OF W.I.B. BELOW
6	1 HR. FIRE RATED DUCT WRAP AT HOOD, SEE SPECIFICATIONS.	14	ROOF ACCESS, SEE DETAIL <u>20/A9.0.</u>
7A	DRIVE-THRU ICE MAKER CONDENSER ON ROOF EQUIPMENT PLATFORM BY G.C. FOR ROOF PENETRATION, SEE DETAIL <u>17/A9.0.</u>	15A	FREEZER REFRIGERATION UNIT
7B	SELF-SERVE ICE MAKER CONDENSER ON ROOF EQUIPMENT PLATFORM BY G.C. FOR ROOF PENETRATION, SEE DETAIL <u>17/A9.0.</u>	15B	COOLER REFRIGERATION UNIT
8	LINE SHACK PER DETAIL <u>17/A9.0</u>	16	AREA OF ADDITIONAL FURRING

- | | |
|-----|--|
| 9 | GREASE EXHAUST FAN UNIT |
| 10 | HOSE BIBB AT +18" ABOVE ROOF LEVEL, SEE PLUMBING DRAWINGS. |
| 11 | HOOD BELOW |
| 12 | PLUMBING VENT, SEE DETAIL <u>12/A9.0</u> . |
| 13 | LINE OF W.I.B. BELOW |
| 14 | ROOF ACCESS, SEE DETAIL <u>20/A9.0</u> . |
| 15A | FREEZER REFRIGERATION UNIT |
| 15B | COOLER REFRIGERATION UNIT |
| 16 | AREA OF ADDITIONAL FURRING |

- 17 PROVIDE "FIRE BLOCK" AT 20'-0" O.C. MAX. WITH 5/8" TYPE 'X' GYP. BD. ON 2x4 STUDS AT 24" O.C., ALL JOINTS TAPED.
- 18 WALL BELOW
- 19 CRICKET AT EQUIPMENT BASES, SEE SIMILAR DETAIL 8/A9.0.
- 20 CANT STRIP, TYP.
- 21 HVAC UNIT, SEE MECHANICAL DRAWINGS.
- 22 CLASS 'A' PVC ROOFING MEMBRANE, SEE SPECIFICATIONS.
- 23 CORRUGATED WALL PANELS O.F.O.I.

1. FOR ROOF FRAMING AND PLYWOOD LAYOUT INFORMATION, SEE STRUCTURAL DRAWINGS.
2. FOR MECHANICAL EQUIPMENT AND INSTALLATION, SEE MECHANICAL DRAWINGS AND SPECIFICATIONS.
3. CURBS AND BASES FOR HVAC UNITS AND EXHAUST FANS SHALL BE INSTALLED LEVEL BY G.C. HVAC UNITS AND EXHAUST FANS SHALL BE HOISTED, SET IN PLACE, AND SECURED TO ROOF CURBS OR BASES BY G.C. AND PER MANUFACTURER'S INSTRUCTIONS.
4. WALK IN BOX ROOF TOP UNIT SHALL BY HOISTED, SET IN PLACE AND SECURED TO ROOF CURB BY G.C. ROOF CURB AND EQUIPMENT PLATFORM BY G.C.
5. ICE MACHINE ROOF TOP UNITS SHALL BE HOISTED, SET IN PLACE AND SECURED TO ROOF CURB BY ICE MACHINE INSTALLER. ROOF CURB AND EQUIPMENT PLATFORM BY G.C.
6. AS ALTERNATE, CONTRACTOR TO SUBSTITUTE BUILT-UP ROOFING IN LIEU OF PVC ROOFING. DETAILS ON SHEET A9.4 AND SPECIFICATIONS.

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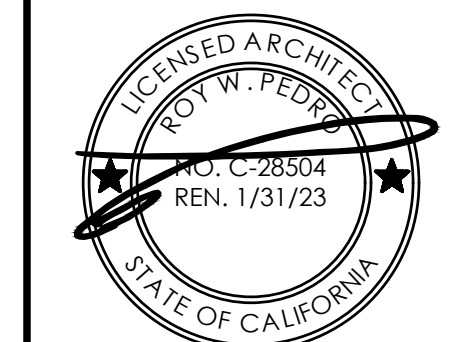
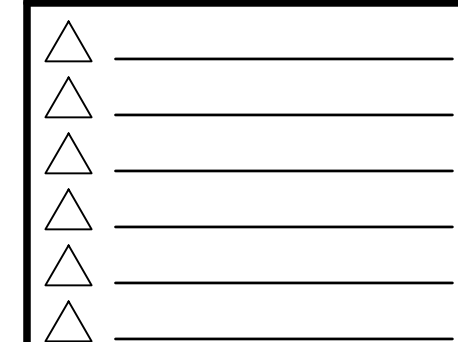
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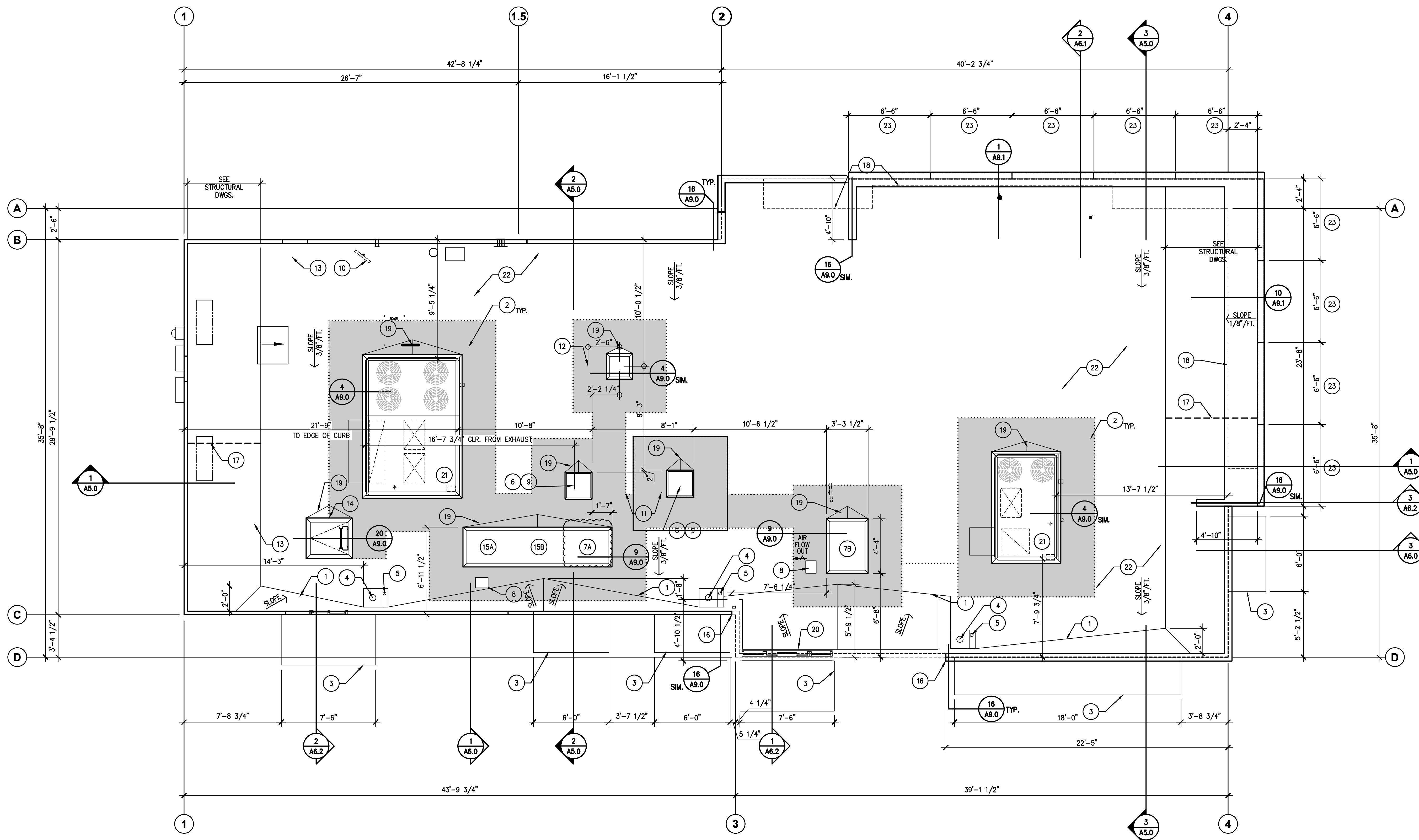
DRAWN BY:

PROJECT #: WFM20001.0

SCALE: 1/4" = 1'-0"

ROOF PLAN

A3.0



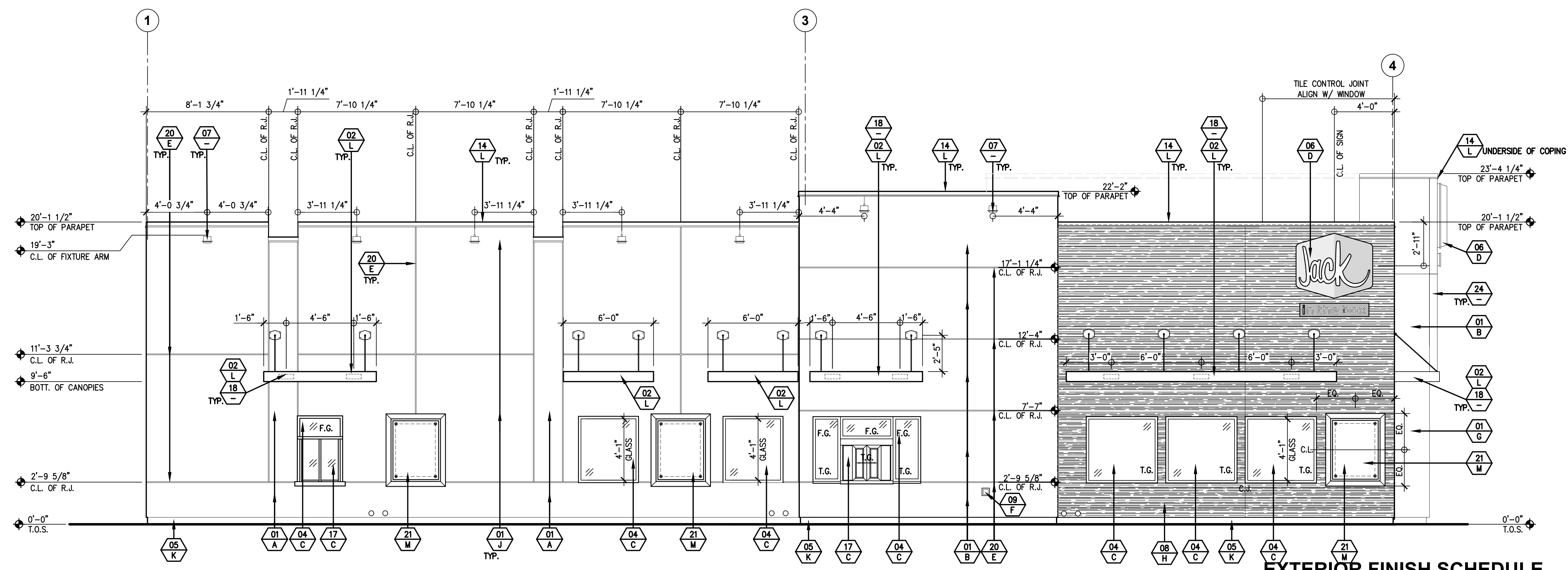
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EAST ELEVATION

SCALE: 1/4" = 1' - 0"

EXTERIOR FINISH SCHEDULE

USE CHECKED BOX ONLY

01 MATERIAL/FINISH
A COLOR

MATERIAL/FINISH:

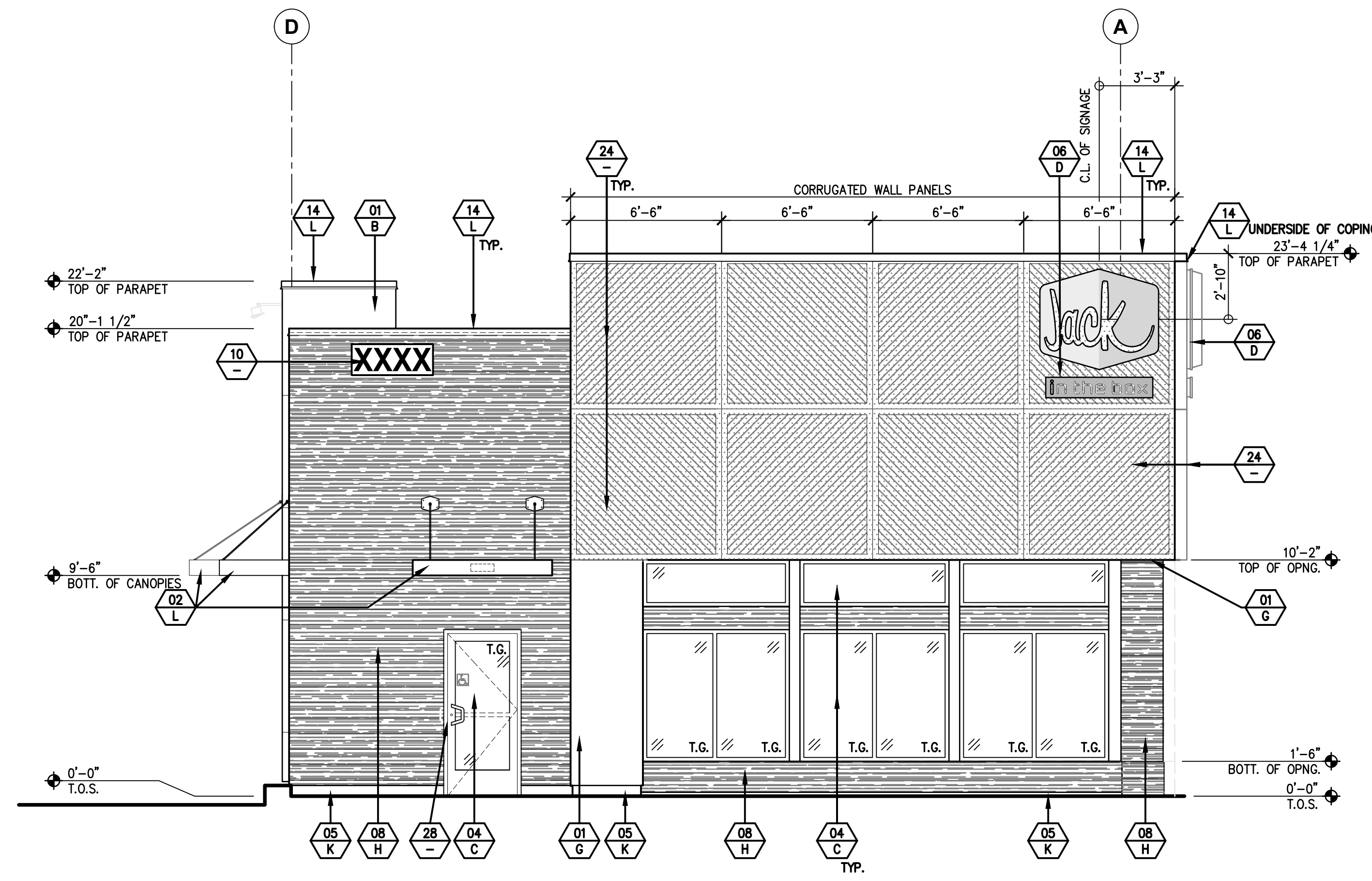
- 01 EXTERIOR CEMENT PLASTER- SAND FLOAT FINISH (SEE SPECIFICATIONS)
☒ INTEGRAL COLOR
☒ SHERWIN WILLIAMS ACRYLIC COATING
☐ EXTERIOR INSULATION FINISHING SYSTEM (EIFS)
AS ALTERNATE, CONTRACTOR TO SUBSTITUTE EIFS
IN LIEU OF EXTERIOR CEMENT PLASTER
- 02 AWNING/CANOPY & SUPPORTS (O.F.O.I.) (F-EQ23) (F-EQ24)
03 GREASE TANK / BULK OIL SYSTEM BOX
04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
☒ 1" CLEAR INSULATED GLASS
☐ 1" CLEAR INSULATED GLASS
W/ SOLARBAN 70XL COATING
W/ SOLARBAN 60 COATING
☐ 1" CLEAR INSULATED GLASS
☐ ANTI-GRAFFITI FILM
- 05 EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB
06 INTERNALLY ILLUMINATED SIGNAGE (O.F.O.I., NOT A PART OF THIS PERMIT)
07 WALL MOUNTED LIGHT FIXTURE, SEE DETAIL 16/A9.3 FOR FIXTURE ATTACHMENT.
08 8" PORCELAIN WALL TILE
09 RECESSED, LOCKABLE, NON-FREEZE HOSE-BIB ENCLOSURE
10 ILLUMINATED ADDRESS WITH 12" HIGH LETTERS (AS REQUIRED PER LOCAL JURISDICTION) (F-EQ8)
11 MAIN ELECTRICAL SERVICE
12 LOCKABLE, IRRIGATION CONTROL PANEL
13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
14 ALUMINUM COPING
15 CO2 FILL BOX METAL COVER
17 DRIVE THRU/ CASHIER WINDOW
18 MOUNT LIGHTING FIXTURE WITHIN CANOPY
19 FEATURE WINDOW POP OUT W/ ALUMINUM BREAK METAL PANELS
20 3/4" ALUMINUM PLASTER REVEAL
21 DISPLAY POSTER PANEL & SURROUND, SEE DETAIL 2/A9.3, 3/A9.3, (F-EQ18) & (F-EQ19)
22 EXTERIOR WALL PACK LIGHT FIXTURE
23 NOT USED
24 CORRUGATED WALL PANELS (O.F.O.I.) (F-EQ10)
25 FIBER CEMENT SIDING PANEL
26 SMOOTH FINISH CONCRETE BASE
27 STEEL POST W/ CUSTOM LIGHT FIXTURE AND BANNER
28 DOOR PULL, SEE DOOR SCHEDULE (F-EQ13)

COLOR:

- A SHERWIN WILLIAMS: SW 7020 "BLACK FOX"
B SHERWIN WILLIAMS: SW 6321 "REDBAY"
C STANDARD STOREFRONT: CLEAR ANODIZED
D WHITE TEXT ON RED BACKGROUND
E CLEAR ANODIZED
F COLOR/FINISH TO MATCH ADJACENT SURFACE
G SHERWIN WILLIAMS: SW 7020 "BLACK FOX"
H CROSSVILLE SPEAKEASY AV283, SWEET GEORGIA BROWN, WITH SAND BEIGE H148 GROUT (GC-T3)
J SHERWIN WILLIAMS: SW 7016 "MINDFUL GRAY"
K NATURAL CONCRETE, GRAY
L RAL-7039 QUARTZ GREY
M RAL-7022 UMBRA GREY

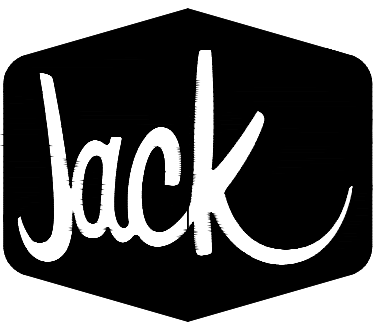
GENERAL NOTES:

- ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C.).
- C.J. = PLASTER CONTROL JOINT
- ALL PLASTER ACCESSORIES, FLASHING ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES.(U.O.N.)
- ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.
- R.J. = 3/4" PLASTER REVEAL JOINT
- SEE FINISH SCHEDULE ON SHEET A8.0, ID4.0, & ID4.2 FINISHES. INTERIOR FINISHES ARE DESIGNATED BY (##)
- ALL OUTSIDE CORNERS WITH CROSSVILLE SPEAKEASY TO GET (GC-TR28)



NORTH ELEVATION

SCALE: 1/4" = 1' - 0"



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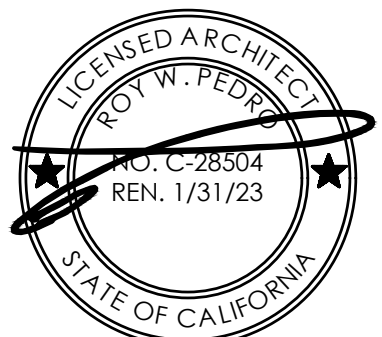
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BID:

CONSTRUCTION:

REVISIONS

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- △
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- △
- △



Architectural
Solutions Group

6930 DESTINY DRIVE
SUITE 100
ROCKLIN, CA 95677

(916) 415-5358
rpdro@pmdginc.com

Roy W. Pedro, Architect

SITE INFORMATION

MK TYPE: MK9DS_MD

JIB #: 4387

ADDRESS:

1240 W. WOOD ST.
WILLOWS, CA 95988

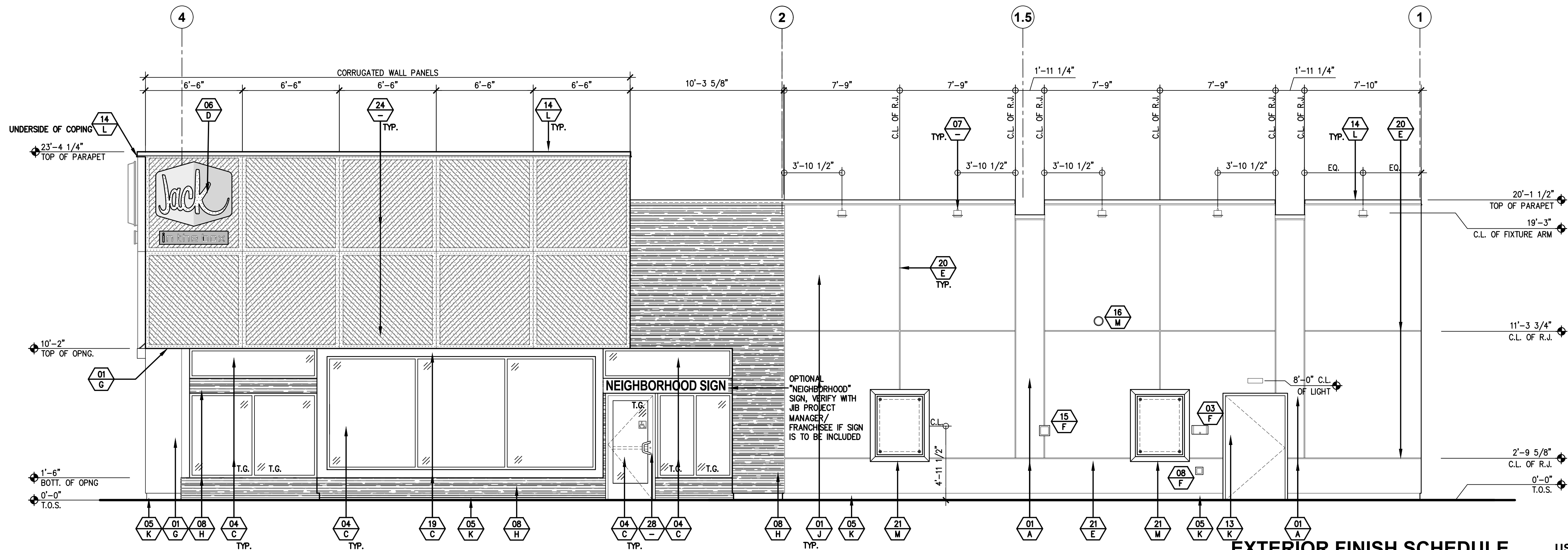
DRAWN BY:

PROJECT #: WFM20001.0

SCALE: AS NOTED

EXTERIOR ELEVATIONS

A4.1



WEST ELEVATION

SCALE: 1/4" = 1' - 0"

EXTERIOR FINISH SCHEDULE

USE CHECKED BOX ONLY

01 MATERIAL/FINISH
A COLOR

MATERIAL/FINISH:

01 EXTERIOR CEMENT PLASTER- SAND FLOAT FINISH (SEE SPECIFICATIONS)

☒ INTEGRAL COLOR

☒ SHERWIN WILLIAMS ACRYLIC COATING

☐ EXTERIOR INSULATION FINISHING SYSTEM (EIFS)

AS ALTERNATE, CONTRACTOR TO SUBSTITUTE EIFS
IN LIEU OF EXTERIOR CEMENT PLASTER

02 AWNING/CANOPY & SUPPORTS (O.F.O.I.) (OF-EQ23) (OF-EQ24)

03 GREASE TANK / BULK OIL SYSTEM BOX

04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)

☒ 1" CLEAR INSULATED GLASS

☐ 1" CLEAR INSULATED GLASS

W/ SOLARBAN 60 COATING

☐ 1" CLEAR INSULATED GLASS

W/ SOLARBAN 70XL COATING

☐ ANTI-GRAFFITI FILM

05 EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB

INTERNALLY ILLUMINATED SIGNAGE (O.F.O.I., NOT A PART OF THIS PERMIT)

07 WALL MOUNTED LIGHT FIXTURE, SEE DETAIL 16/A9.3 FOR FIXTURE ATTACHMENT.

08 8" PORCELAIN WALL TILE

09 RECESSED, LOCKABLE, NON-FREEZE HOSE-BIB ENCLOSURE

ILLUMINATED ADDRESS WITH 12" HIGH LETTERS (AS REQUIRED PER LOCAL JURISDICTION) (OF-EQ8)

11 MAIN ELECTRICAL SERVICE

12 LOCKABLE, IRRIGATION CONTROL PANEL

13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM

14 ALUMINUM COPING

15 CO2 FILL BOX METAL COVER

17 DRIVE THRU/ CASHIER WINDOW

18 MOUNT LIGHTING FIXTURE WITHIN CANOPY

19 FEATURE WINDOW POP OUT W/ ALUMINUM BREAK METAL PANELS

20 3/4" ALUMINUM PLASTER REVEAL

21 DISPLAY POSTER PANEL & SURROUND, SEE DETAIL 2/A9.3, 3/A9.3, (OF-EQ18) & (OF-EQ19)

22 EXTERIOR WALL PACK LIGHT FIXTURE

23 NOT USED

24 CORRUGATED WALL PANELS (O.F.O.I.) (OF-EQ10)

25 FIBER CEMENT SIDING PANEL

26 SMOOTH FINISH CONCRETE BASE

27 STEEL POST W/ CUSTOM LIGHT FIXTURE AND BANNER

28 DOOR PULL, SEE DOOR SCHEDULE (OF-EQ13)

COLOR:

A SHERWIN WILLIAMS: SW 7020 "BLACK FOX"

B SHERWIN WILLIAMS: SW 6321 "REDBAY"

C STANDARD STOREFRONT: CLEAR ANODIZED

D WHITE TEXT ON RED BACKGROUND

E CLEAR ANODIZED

F COLOR/FINISH TO MATCH ADJACENT SURFACE

G SHERWIN WILLIAMS: SW 7020 "BLACK FOX"

H CROSSVILLE SPEAKEASY AV283, SWEET GEORGIA BROWN, WITH SAND BEIGE H148 GROUT (GC-T3)

J SHERWIN WILLIAMS: SW 7016 "MINDFUL GRAY"

K NATURAL CONCRETE, GRAY

L RAL-7039 QUARTZ GREY

M RAL-7022 UMBRA GREY

GENERAL NOTES:

1. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C.).

C.J. = PLASTER CONTROL JOINT

3. ALL PLASTER ACCESSORIES, FLASHING ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES.(U.O.N.)

4. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBBS, ETC. SHALL BE SEALED. SEE FLOOR

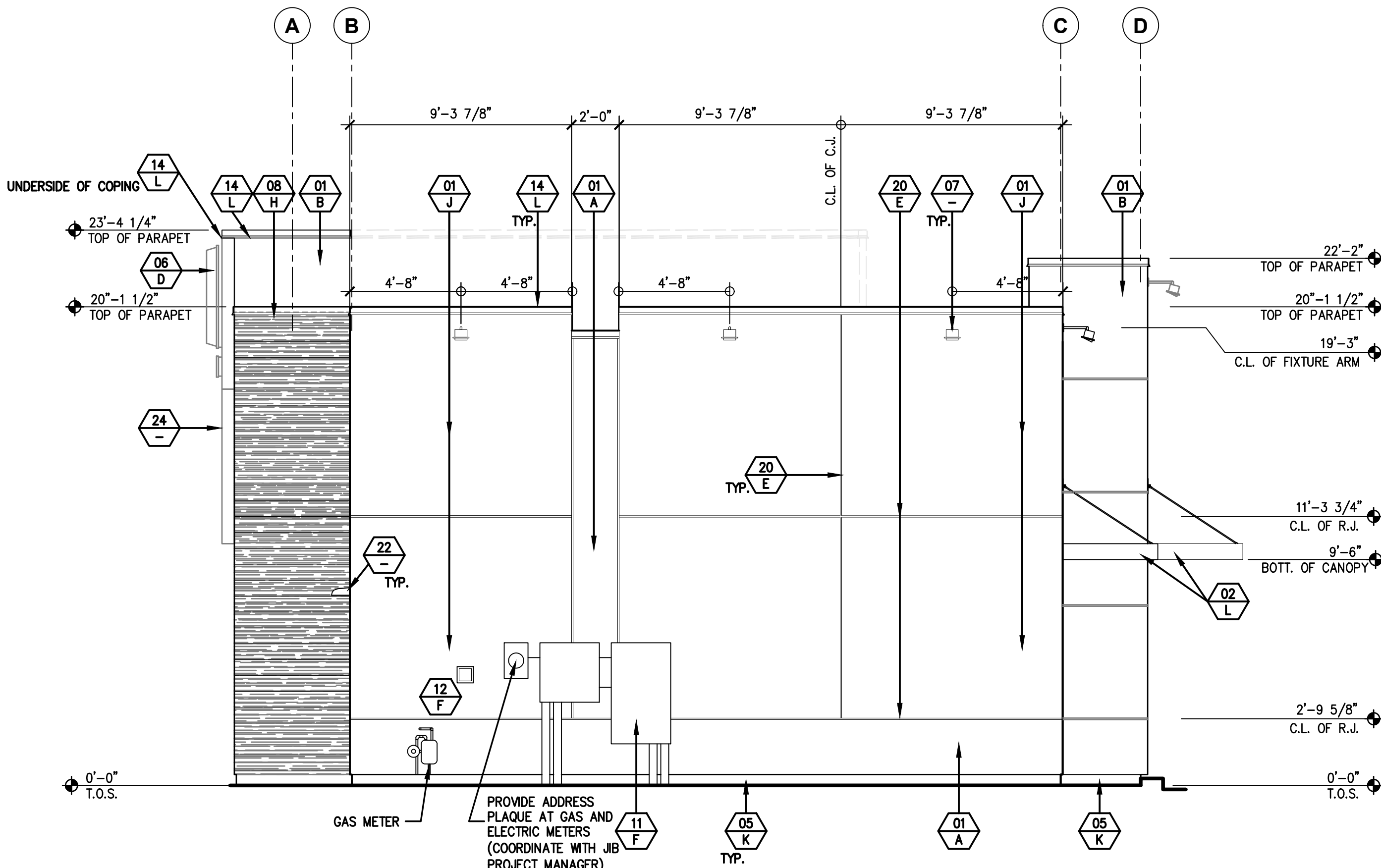
PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.

5. R.J. = 3/4" PLASTER REVEAL JOINT

6. SEE FINISH SCHEDULE ON SHEET A8.0, ID4.0, & ID4.2 FINISHES. INTERIOR FINISHES ARE

DESIGNATED BY ##

7. ALL OUTSIDE CORNERS WITH CROSSVILLE SPEAKEASY TO GET (GC-IR2B)



SOUTH ELEVATION

SCALE: 1/4" = 1' - 0"

NOTE:
SEE SHEET A4.0 FOR ADDITIONAL
EXTERIOR FINISH INFORMATION AND
DETAILS (TYP.)



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EXTERIOR COLOR ELEVATIONS A4.2





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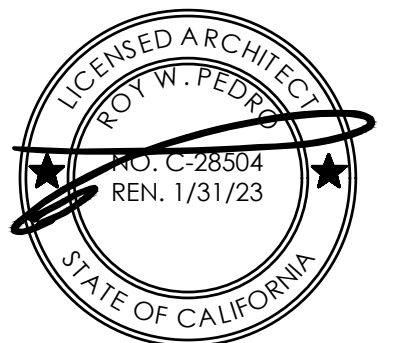
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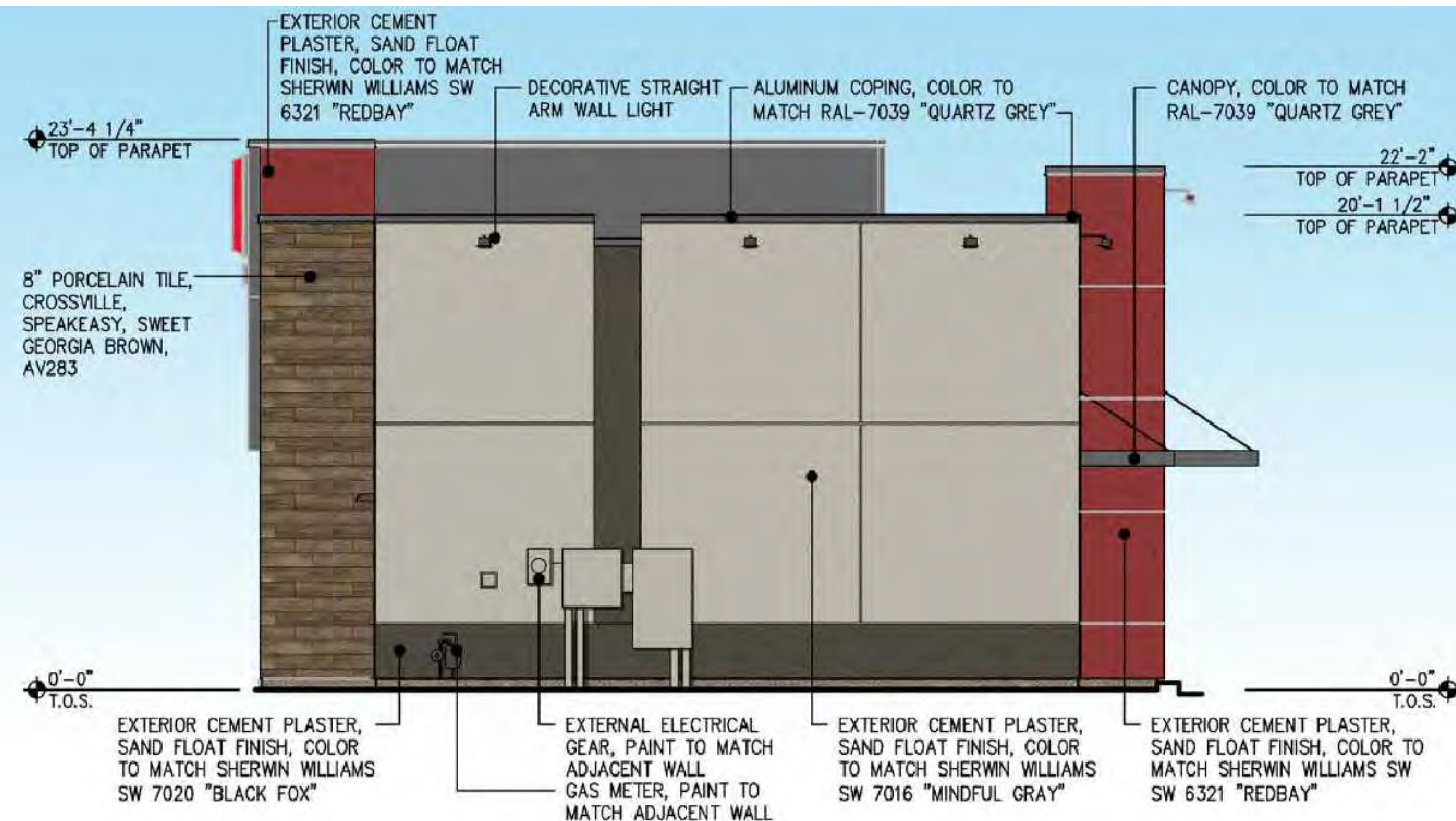
PROJECT #: WFM20001.0

SCALE: AS NOTED

EXTERIOR
COLOR
ELEVATIONS
A4.3



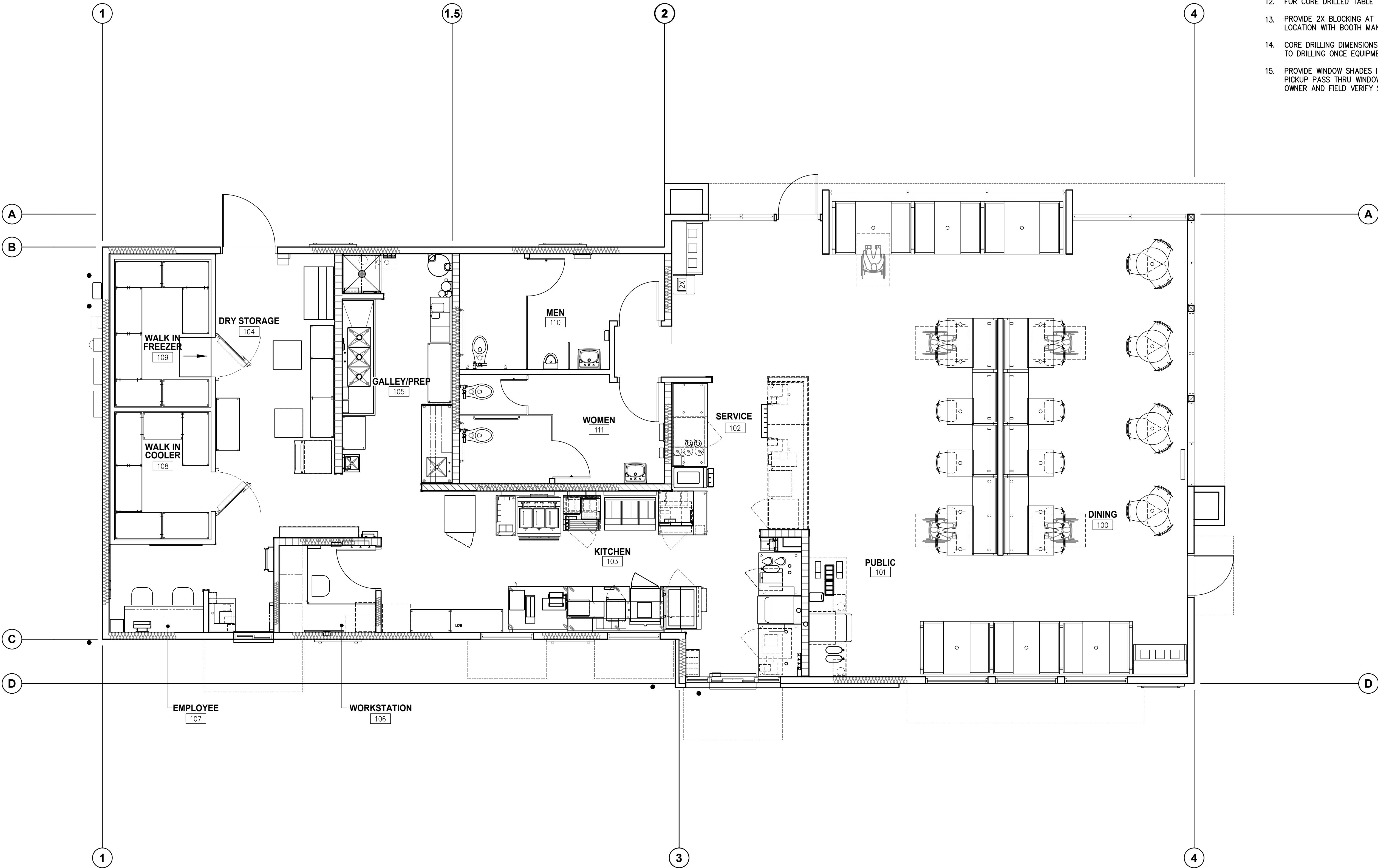
WEST ELEVATION



SOUTH ELEVATION

GENERAL NOTES

- SEE FINISH SCHEDULE / I.D. DRAWINGS FOR INFORMATION ON INTERIOR FINISHES.
INTERIOR FINISHES ARE DESIGNATED BY: **#**
- ATTACH TABLE TOPS TO BASES PER MANUFACTURER'S REQUIREMENTS / INSTRUCTIONS.
- RESTROOM VESTIBULE ELEVATIONS ARE SHOWN ON SHEET **ID2.0**.
- RESTROOM ELEVATIONS ARE SHOWN ON SHEET **AZ.0**.
- WORKSTATION & EMPLOYEE ROOM ELEVATIONS ARE SHOWN ON SHEET **K2.2**.
- KITCHEN ELEVATIONS ARE SHOWN ON SHEET **K2.0 & K2.1**.
- ALL EXPOSED FINISH CORNERS AND SEAMS REQUIRE CAULKING. IN ADDITION, BUT NOT LIMITED TO, TOP OF ALL COVE BASES, ALL FIXED EQUIPMENT, ETC. DO NOT APPLY CAULKING TO ANY V.W.C. SURFACE.
- SEATING LAYOUT TO COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL DIMENSIONS ARE TO FACE OF FINISHED DRYWALL AND ARE CONSIDERED CRITICAL. U.O.N. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH SHOP DRAWINGS AND PLANS AGAINST REQUIRED CLEARANCES.
- IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES BEFORE ORDERING AND INSTALLING MATERIAL.
- SEE DETAIL SHEETS FOR BLOCKING AT COUNTER TOPS.
- FOR CORE DRILLED TABLE BASES, SEE DETAIL **10/ID3.1**.
- PROVIDE 2X BLOCKING AT FRAMED WALLS FOR BOOTH ATTACHMENT. VERIFY EXACT LOCATION WITH BOOTH MANUFACTURER.
- CORE DRILLING DIMENSIONS ARE NOTED WITH A C.D. AND SHOULD BE VERIFIED PRIOR TO DRILLING ONCE EQUIPMENT IS ON SITE.
- PROVIDE WINDOW SHADES ITEM #OF-EQ6 ON ALL WINDOWS EXCEPT CASHIER AND PICKUP PASS THRU WINDOWS. VERIFY LOCATIONS WITH CONSTRUCTION MANAGER AND OWNER AND FIELD VERIFY SIZES PRIOR TO ORDERING.



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PM
DESIGN
Architectural
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Roy W. Pedro, Architect

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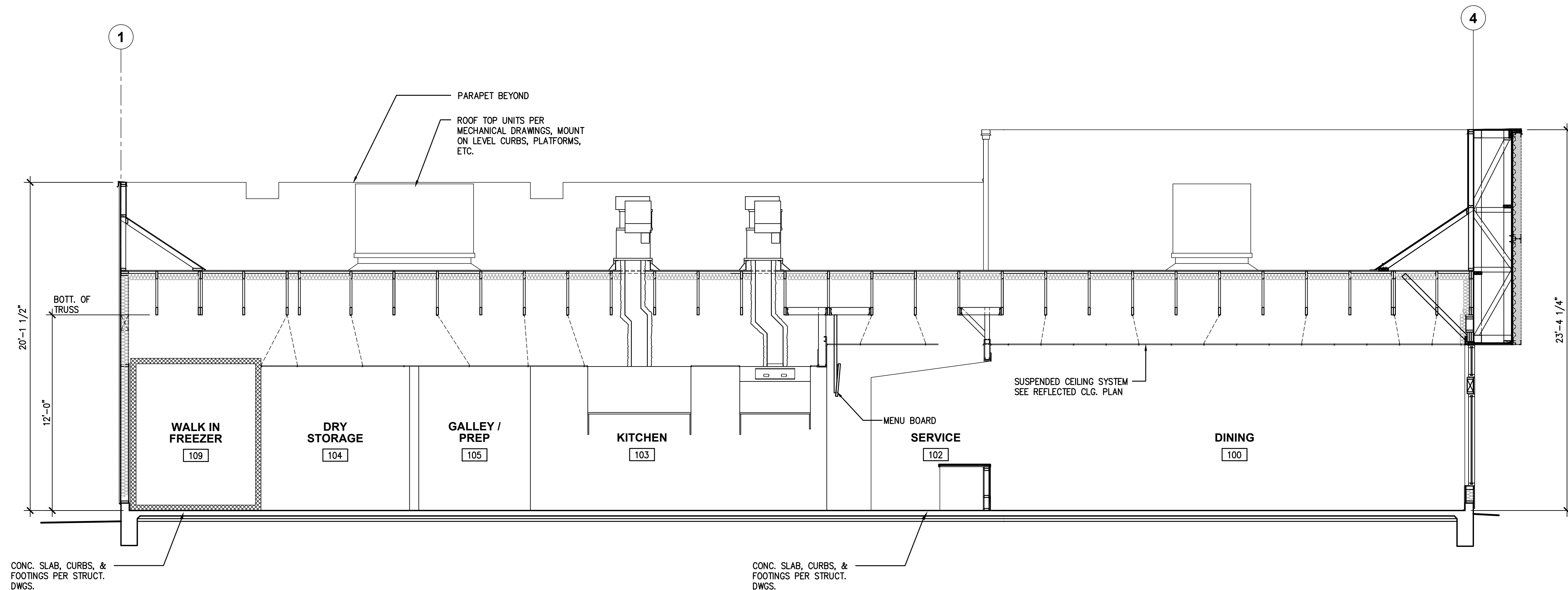
DRAWN BY: _____

PROJECT #: WFM20001.0

SCALE: 1/4" = 1'-0"

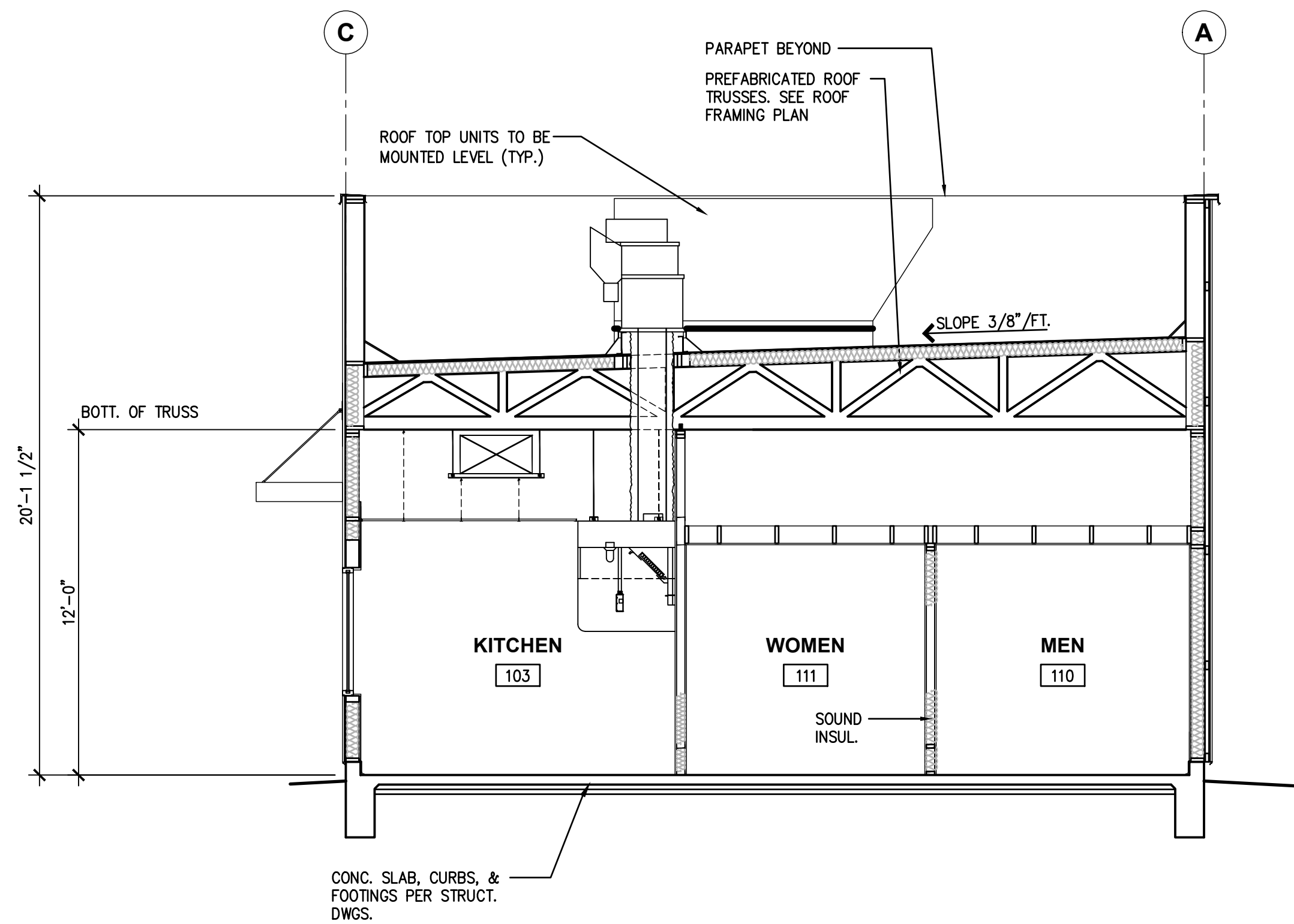
FURNITURE
PLAN

ID1.0



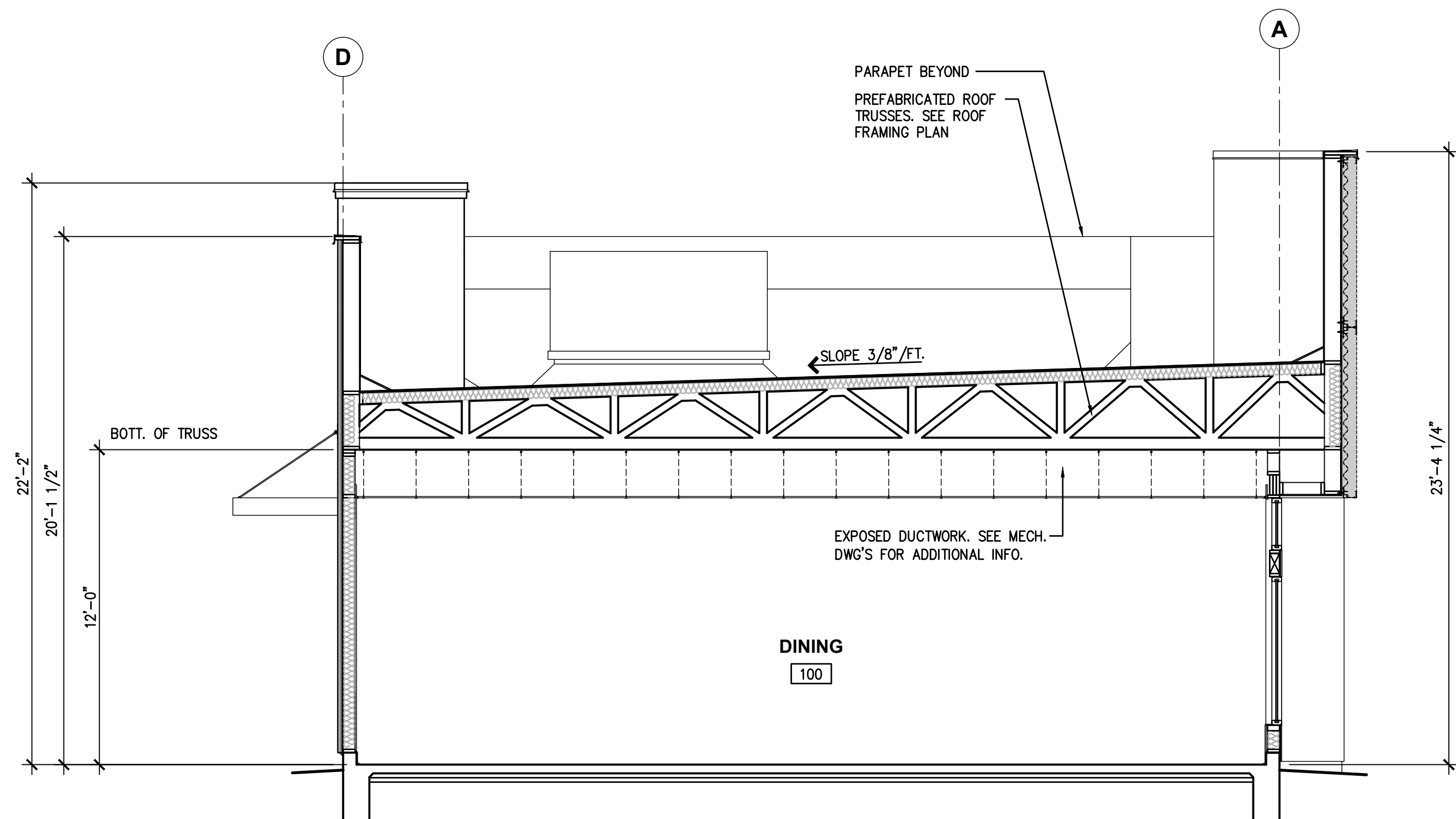
1 BUILDING LONGITUDINAL SECTION

1/4" = 1'-0"



2 BUILDING CROSS SECTION

1/4" = 1'-0"



3 BUILDING CROSS SECTION

1/4" = 1'-0"



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BUILDING
SECTIONS

A5.0



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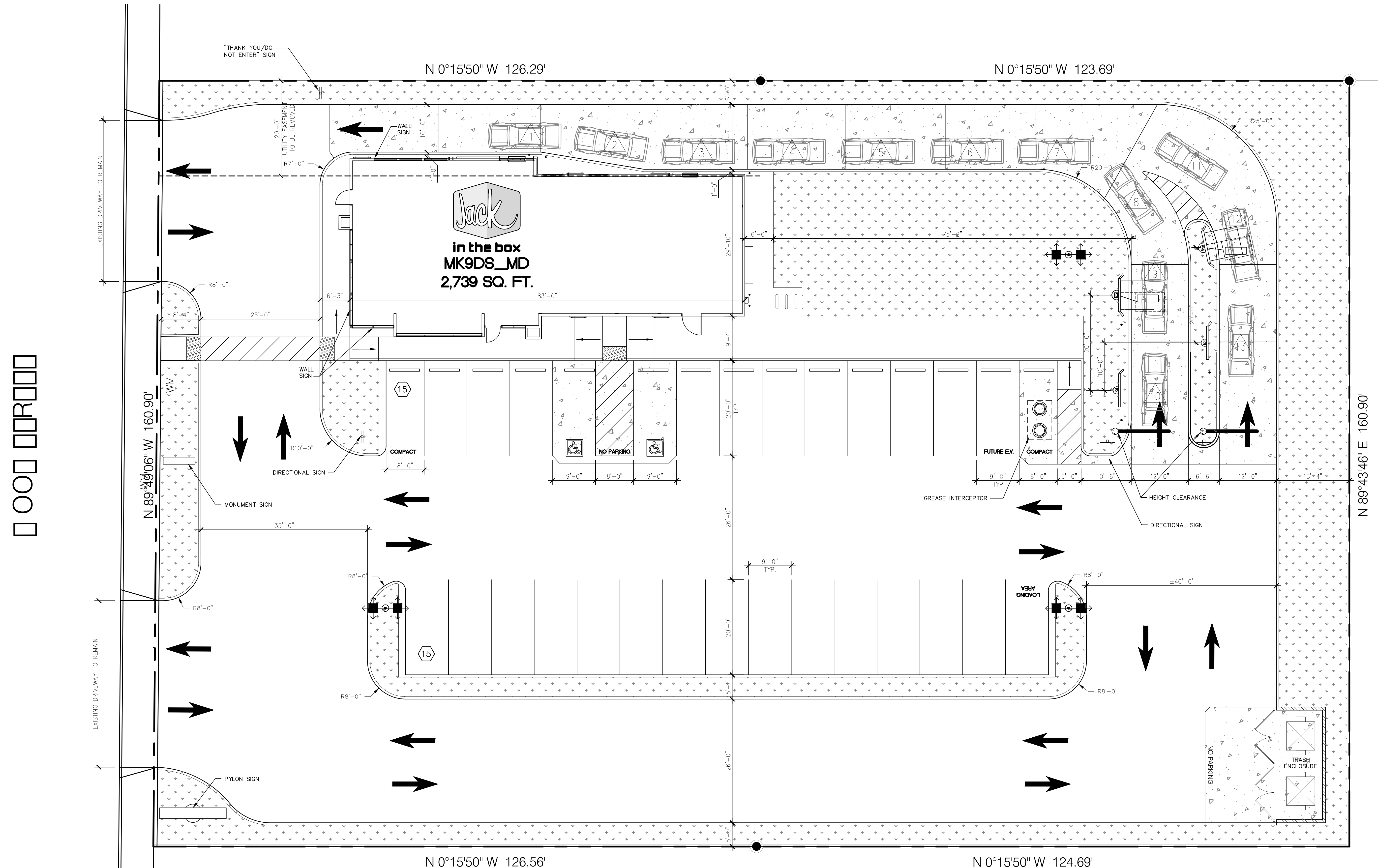
K TYPE: MK9DS MD

B #: 4387

RAWN BY:

PROJECT #: WFM20001.0

SCALE: 1" = 10'



ZONING: CH (COMMERCIAL HIGHWAY)

OCCUPANCY: A-2 - RESTAURANT

SEATING: 64 INDOOR SEATS

NO OUTDOOR DINING SEATING

BUILDING AREA. 2,759 SQ. FT.

PARKING REQUIRED: 1 SPACE PER 200 SQ. FT. = $2739/200 = 13.7$ SPACES

PARKING PROVIDED: 24 STANDARD SPACES
2 ADA ACCESSIBLE SPACES

2 COMPACT SPACES
1 FUTURE E.V. SPACES

T LOADING SPACE PER SEC. 18.120.030

30 TOTAL SPACES

SCALE: 1" = 10'

NORTH

Jack

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OLIVE STREET

LANDSCAPE ARCHITECTURE

P.O. Box 2083
Petaluma CA 94952
707-280-8990
OliveStreetLandscape.com
rod@olivestreetlandscape.com

REGISTERED LANDSCAPE ARCHITECT

Rodney L. Scaccalosi

No. 4452

Exp. 05/31/22

STATE OF CALIFORNIA

PM

DESIGN

Architectural
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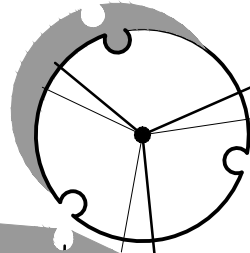
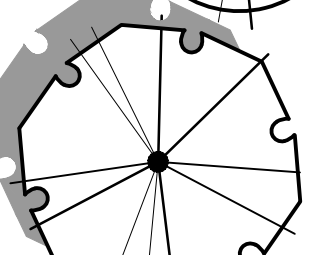
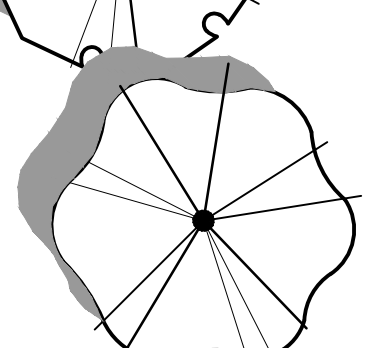







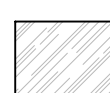
PROJECT #: WFM20001.0

SCALE: 1" = 16'

LANDSCAPE
PLAN

L1

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	
	10	Lagerstroemia indica "Red Rocket" / Crape Myrtle	15 gal	Low	
	3	Ulmus x "Frontier" / American Elm	15 gal	Moderate	
	3	Zelkova serrata "Village Green" / Sawleaf Zelkova	15 gal	Moderate	
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	
	138	Callistemon viminalis "Little John" / Dwarf Weeping Bottlebrush	5 gal	Low	
	95	Dietes x "Lemon Drop" / Fortnight Lily	5 gal.	Low	
	98	Grevillea x "Noellii" / Grevillea	5 gal	Low	
	68	Phormium x "Dark Delight" / Dark Delight Purple Flax	5 gal.	Low	
	40	Rhaphiolepis umbellata "Eleanor Tabor" / Yedda Hawthorn	5 gal	Low	
	63	Yucca x "Bright Star" / Variegated Spanish Dagger	5 gal	Low	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
	24	Myoporum parvifolium / Trailing Myoporum	1 gal	Low	60" o.c.
	192	Rosa x "Red Drift" / Drift Rose	1 gal.	Low	30" o.c.

GENERAL NOTES

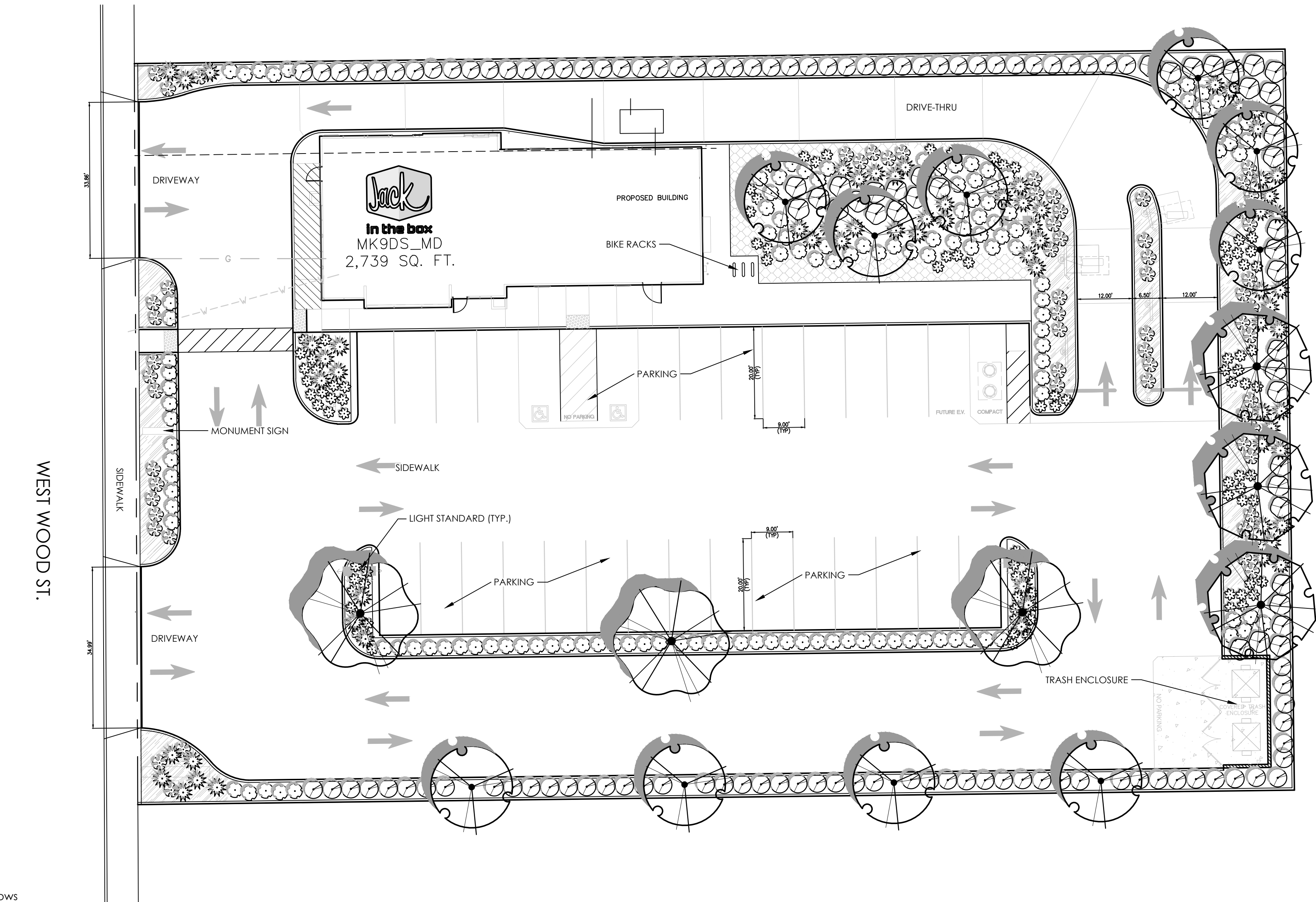
- All landscape planting areas shall receive a minimum 3" layer of organic mulch top dressing.
- All trees, shrubs and groundcover shall be irrigated with a drip system, smart controller , weather sensor, etc.and shall meet City of Willows Water Efficient standards/regulations.
- All new trees located within 7' of pavement or permanent structure shall have a root barrier.

COMPLIANCE STATEMENT

I have complied with the criteria of the water use ordinance and applied them accordingly for the efficient use of water in the landscape design plan.

Rodney Scaccalosi

3-4-21



Water Efficient Landscape Worksheet

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
REGULAR LANDSCAPE AREA							
LOW WATER USE PLANTS	.3	D RIP	.81	.37	8,305	3,073	97,740 GAL.
MODERATE WATER USE PLANTS	.5	D RIP	.81	.62	125	78	2,481 GAL.
TOTALS					(A) 8,430	(B)3,151	
ETWU Total							100,221 GAL.

Maximum Applied Water Allowance (MAWA). $MAWA = \frac{[ETo]}{[51.3]} \left(\frac{[Conversion factor]}{[.62]} \right) \left(\frac{[ETAF]([Landscape Area])}{(.45 \times 8,430)} \right) + ((1-[ETAF]) \times SLA)$ = 120,656 GALLONS

Estimated Total Water use (ETWU). $ETWU = \frac{[ETo]}{[51.3]} \left(\frac{[Conversion factor]}{[.62]} \right) \left(\frac{[ETAF]([Area])}{(3,151)} \right)$ = 100,221 GALLONS

ETAF Calculations

Total ETAF x Area	(B) 3,151
Total Area	(A) 8,430
Average ETAF	(B / A) .37

Note:
1. Average ETAF for Regular Landscape Areas must be below .55 for residential areas and .45 for non-residential areas.

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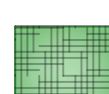
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L1

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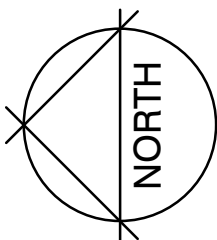
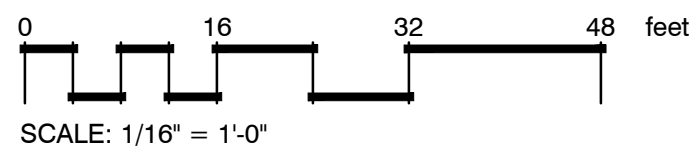
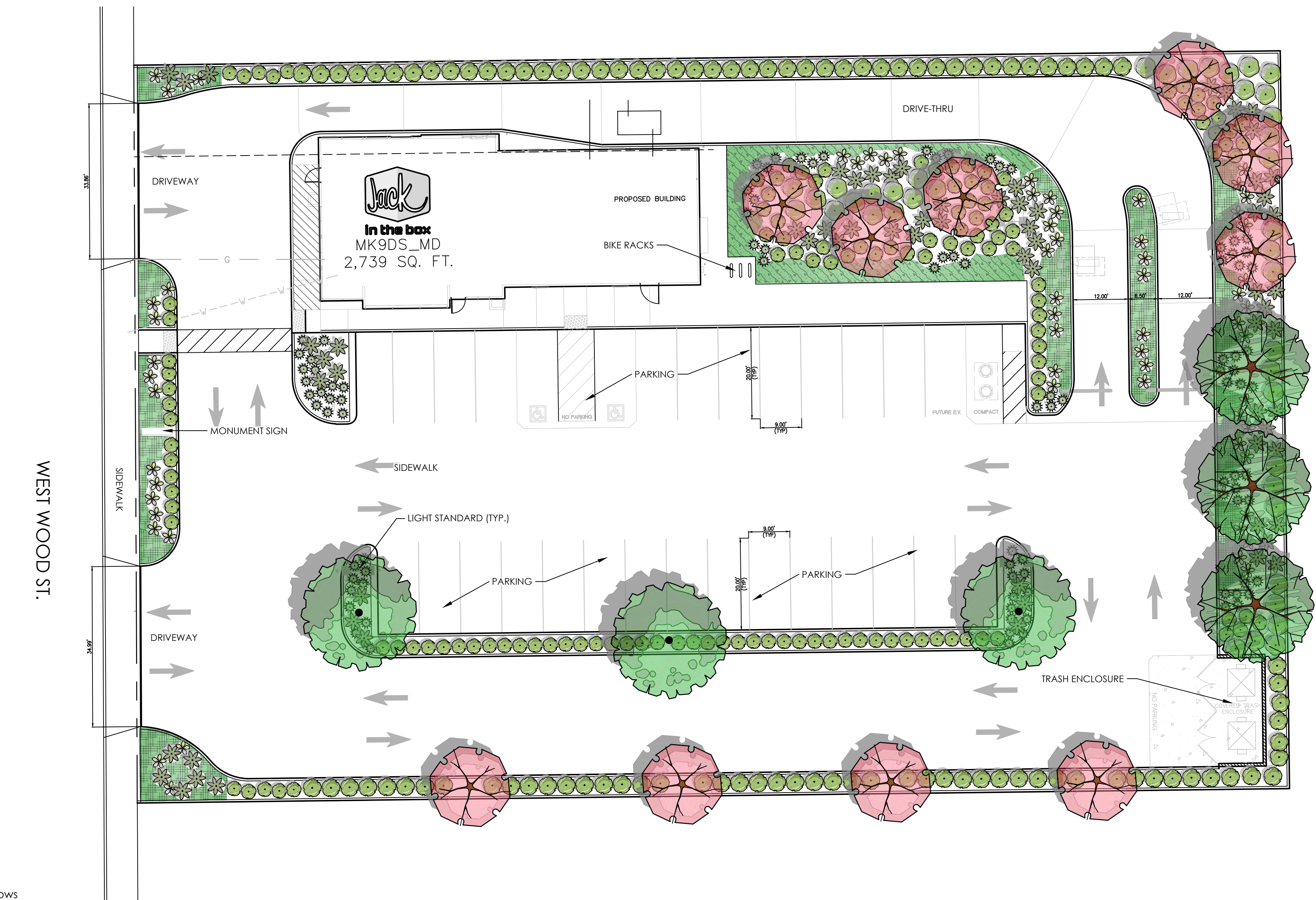
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Estimated Total Water use (ETWU). $ETWU = \frac{[ETo]}{[51.3]} \left(\frac{[Conversion\ factor]}{[.62]} \right) \left(\frac{[ETAF] (Area)}{[3,151]} \right) = 100,221\ GALLONS$

ETAF Calculations

Regular Landscape Areas

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Total Area	(A) 8,430
Average ETAF	(B / A) .37

Note:

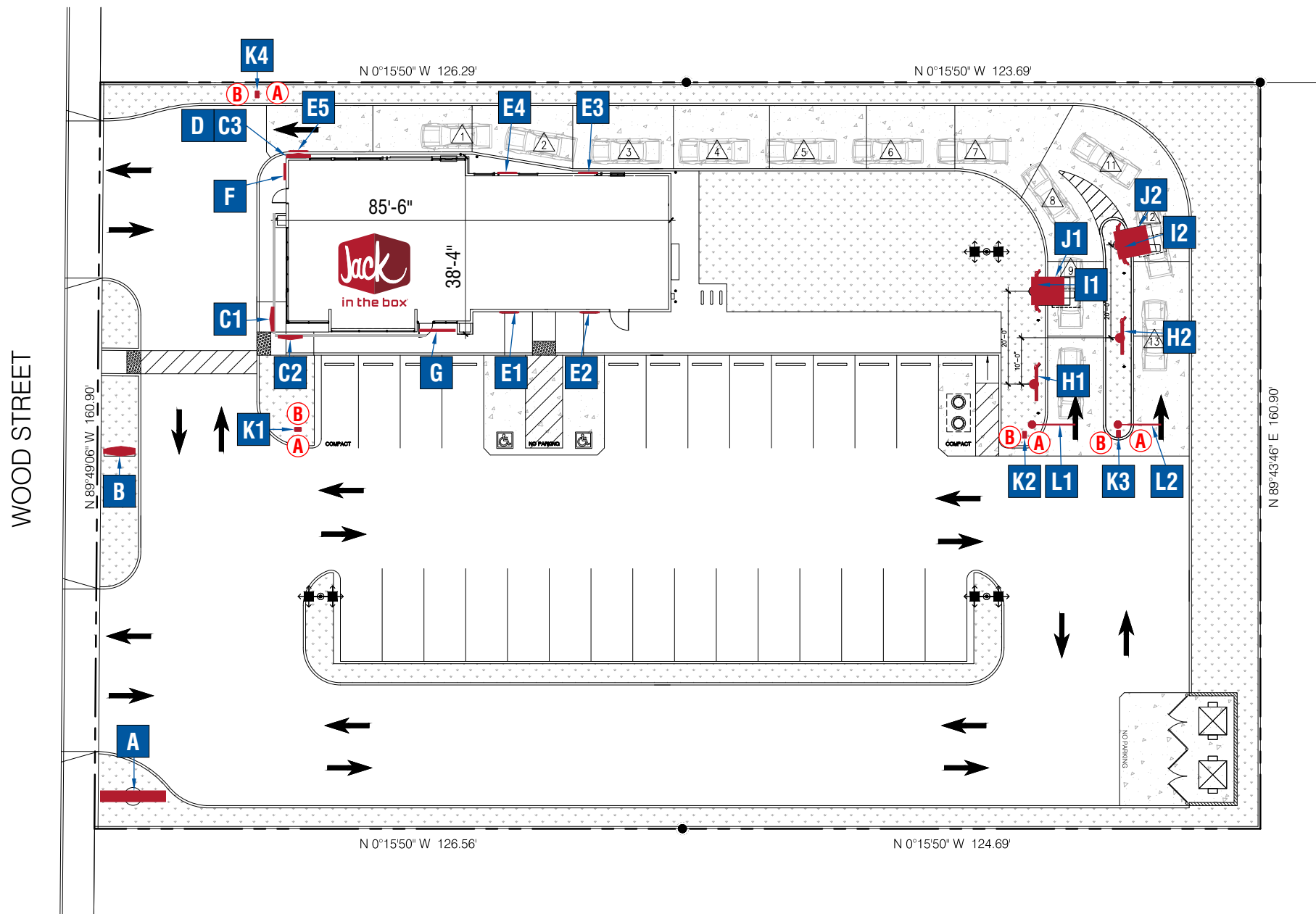
- Average ETAF for Regular Landscape Areas must be below .55 for residential areas and .45 for non-residential areas.



JACK IN THE BOX #4387
1230 W Wood St Willows, CA 95988 USA

ORIGINAL DESIGN: 3/12/21-JMc

PERMIT



SITE PLAN

SCALE: 1"=30'-0"

SIGN LEGEND

SIGN #	DESCRIPTION	SIGN TYPE	SF	QTY
A	PYLON - DETAILS TBV	JITB-PYL-XXXXX	XX	1
B	J30 MONUMENT SIGN	JITB-MON-J30-96x69	26.6	1
C1	J30 WALL SIGN	JITB-J30	27.76	1
C2	J30 WALL SIGN	JITB-J30	27.76	1
C3	J30 WALL SIGN	JITB-J30	27.76	1
D	J30 WALL SIGN HALO KIT	JITB-J30-HALO KIT	N/A	1
E1	POSTER MARQUEE - SINGLE	JITB-WC-60x49-MARQUEE	20.5	1
E2	POSTER MARQUEE - SINGLE	JITB-WC-60x49-MARQUEE	20.5	1
E3	POSTER MARQUEE - SINGLE	JITB-WC-60x49-MARQUEE	20.5	1
E4	POSTER MARQUEE - SINGLE	JITB-WC-60x49-MARQUEE	20.5	1
E5	POSTER MARQUEE - SINGLE	JITB-WC-57x79-MARQUEE	20.5	1
F	ILLUM. ADDRESS CABINET	JITB-WC-16x42-ADDRESS-1230	4.7	1
G	NEIGHBORHOOD LETTERS	JITB-FC0-AL-8	N/A	1
H1	PREVIEW MENU - BY OTHERS	PREVIEW MENU BY NATIONAL SIGNS	26	1
H2	PREVIEW MENU - BY OTHERS	PREVIEW MENU BY NATIONAL SIGNS	26	1
I1	SPEAKER MENU - BY OTHERS	SPEAKER MENU BY NATIONAL SIGNS	27.1	1
I2	SPEAKER MENU - BY OTHERS	SPEAKER MENU BY NATIONAL SIGNS	27.1	1
J1	SPEAKER MENU CANOPY	JITB-CAN-72x84-120	N/A	1
J2	SPEAKER MENU CANOPY	JITB-CAN-72x84-120	N/A	1
K1	DIR. SIGN - "DRIVE-THRU"	JITB-DIR-17x17x48-DRIVETHRU-LEFT/RIGHT	2.3	1
K2	DIR. SIGN - "DRIVE-THRU"	JITB-DIR-17x17x48-DRIVETHRU-LEFT/RIGHT	2.3	1
K3	DIR. SIGN - "DRIVE-THRU"	JITB-DIR-17x17x48-DRIVETHRU-LEFT/RIGHT	2.3	1
K4	DIR. SIGN - "TY/DNE"	JITB-DIR-17x17x48-THANKYOU/DONOTENTER	2.3	1
L1	HEIGHT DETECTOR	JITB-H-BAR-120	N/A	1
L2	HEIGHT DETECTOR	JITB-H-BAR-120	N/A	1



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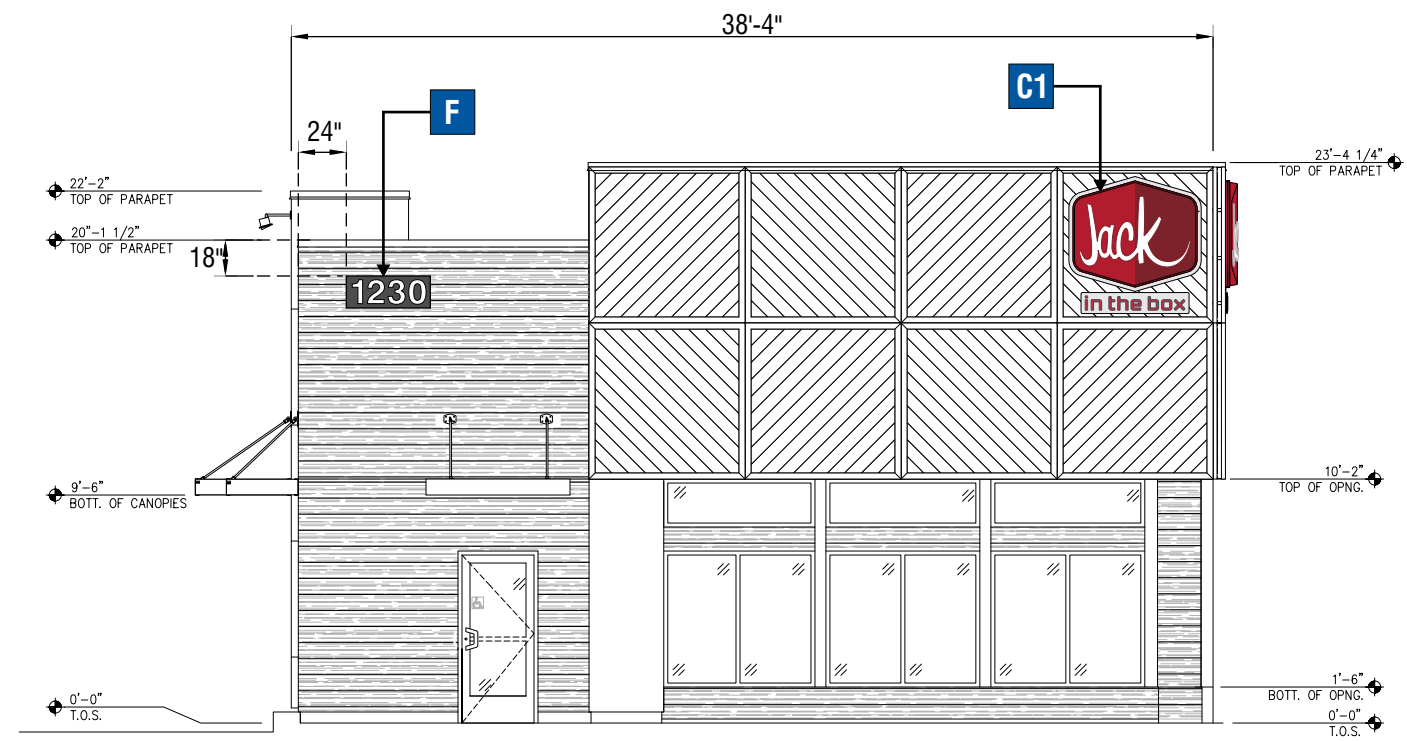
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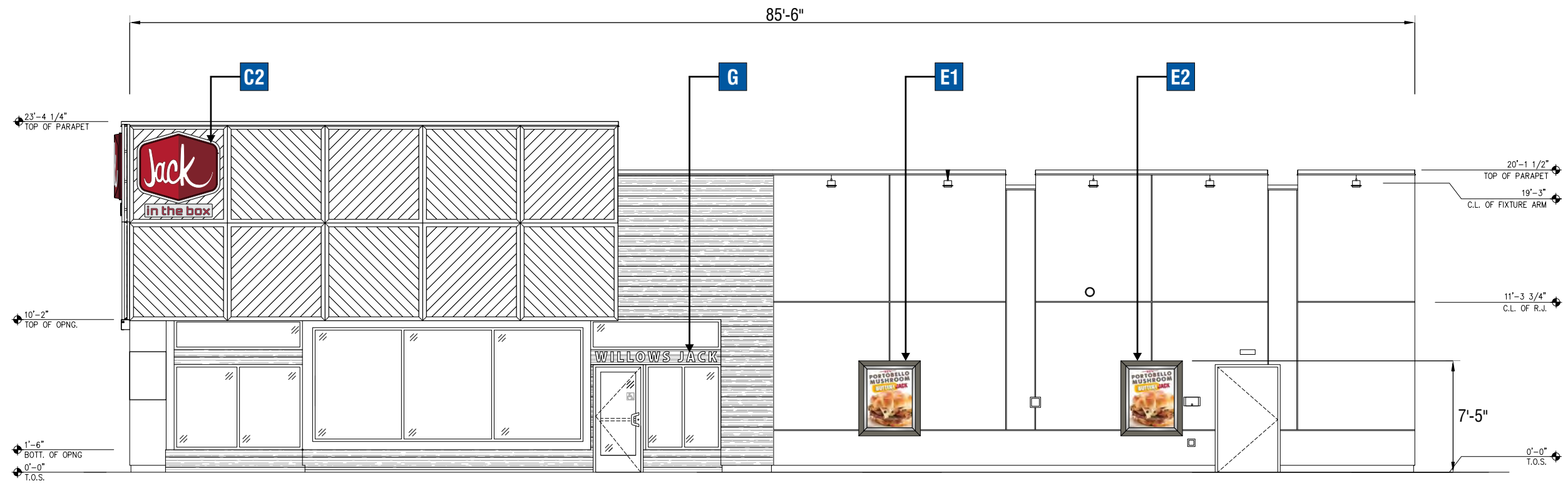
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Coordinator: Thea Tochiara
Design: JMc
Engineering:

date: 3/12/21
drawing: J4387-PERMIT rev:XX
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project ID: JIB_4387_2



NORTH / FRONT ELEVATION

SCALE: 1/8" = 1'-0"



WEST / RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



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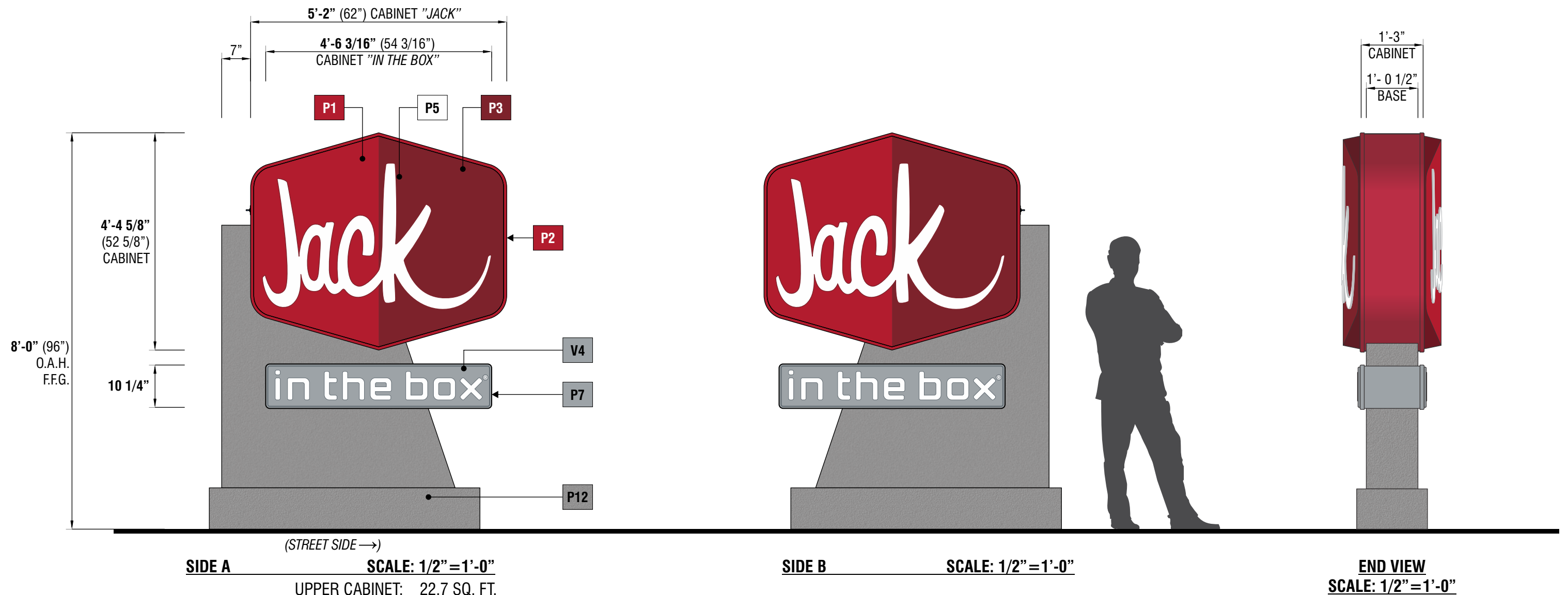
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SIDE A

SCALE: 1/2" = 1'-0"

UPPER CABINET: 22.7 SQ. FT.
LOWER CABINET: 3.9 SQ. FT.
TOTAL: 26.6 SQ. FT.

SIDE B

SCALE: 1/2" = 1'-0"

END VIEW
SCALE: 1/2" = 1'-0"

B SIGNTYPE JITB-MON-J30-96x69

MANUFACTURE AND INSTALL ONE (1) D/F INTERNALLY ILLUMINATED J30 MONUMENT SIGN

UPPER CABINET: FABRICATED ALUMINUM WITH INTERNAL LED ILLUMINATION

LOWER CABINET: FABRICATED ALUMINUM WITH INTERNAL LED ILLUMINATION

FACES: FORMED LEXAN WITH SECOND SURFACE GRAPHICS

BASE: FABRICATED ALUMINUM

ILLUMINATION: LED - SLOAN PRISM 5700K WHITE

PAINT

- P1** TO MATCH LACRYL SERIES 400 LW-5-9404-1 *TRANSLUCENT PAINT*
- P2** TO MATCH MP 64691 'JIB RED' *OPAQUE PAINT*
- P3** TO MATCH LACRYL SERIES 400 443 'DEEP RED' *TRANSLUCENT PAINT*
- P5** TO MATCH LACRYL SERIES 400 L-403-W *TRANSLUCENT PAINT*
- P7** TO MATCH MP 02065 'SLATE GRAY'
- P12** TO MATCH SHERWIN WILLIAMS SW7018 'DOVETAIL' W/ SATIN FINISH AND MEDIUM TEXCOTE

VINYL

- V4** 3M 3630-61 'SLATE GRAY'



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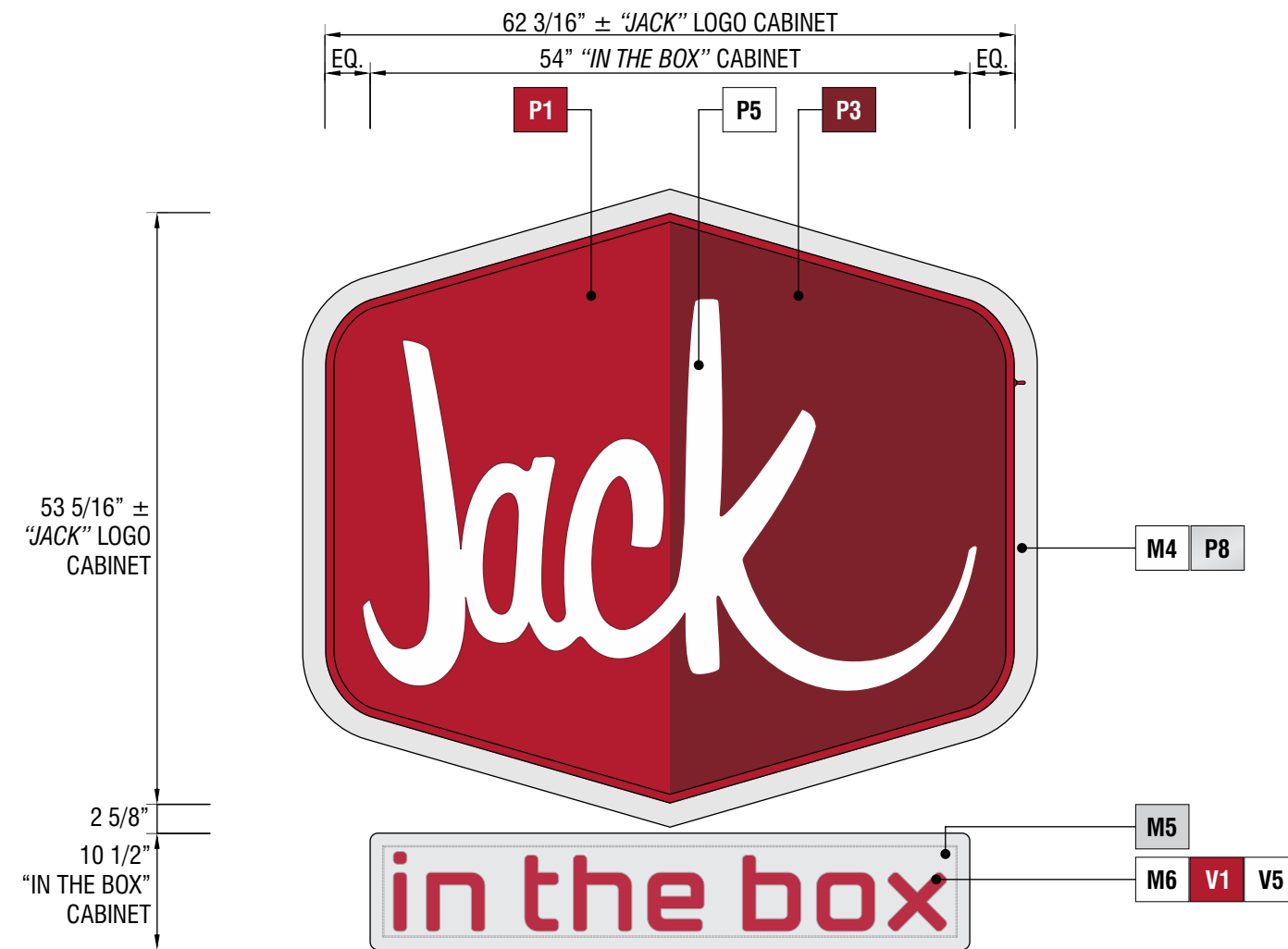
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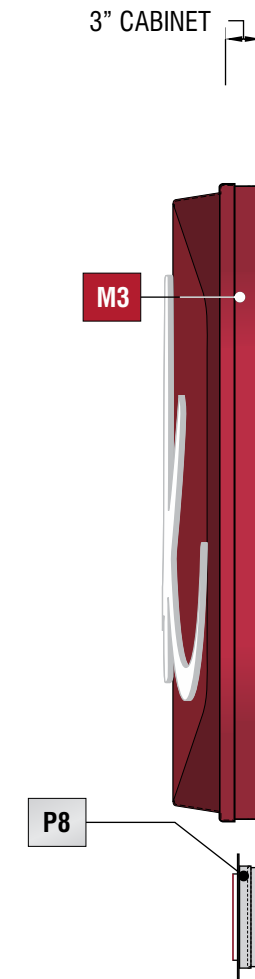
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project ID: JIB_4387_2



FRONT VIEW SCALE: 3/4"=1'-0"
27.76 SQ. FT.



END VIEW SCALE: 3/4"=1'-0"

C1 C2 C3 SIGNTYPE JITB-J30

MANUFACTURE AND INSTALL THREE (3) S/F INTERNALLY ILLUMINATED J30 WALL SIGN(S)

UPPER CABINET: FABRICATED ALUMINUM WITH INTERNAL LED ILLUMINATION AND UL APPROVED DISCONNECT SWITCH

LOWER CABINET: FABRICATED ALUMINUM WITH INTERNAL LED ILLUMINATION

UPPER FACE: FORMED POLYCARBONATE WITH SECOND SURFACE GRAPHICS

LOWER FACE: ROUTED ACM WITH PUSH-THRU ACRYLIC COPY

LOGO BORDER: ACM

ILLUMINATION: LED

MATERIALS

M3 3 1/2" CHANNEL LETTER COIL PRE-COATED MP 64691 "JIB RED" WITH SATIN FINISH

M4 3MM WHITE ACM (0.118" SKIN)

M5 3MM SILVER ACM (0.118" SKIN)

M6 3/4" CLEAR ACRYLIC

PAINT

P1 TO MATCH LACRYL SERIES 400 LW-5-9404-1 *TRANSLUCENT PAINT*

P3 TO MATCH LACRYL SERIES 400 443 'DEEP RED' *TRANSLUCENT PAINT*

P5 TO MATCH LACRYL SERIES 400 L-403-W *TRANSLUCENT PAINT*

P8 TO MATCH MP 30136 'BRUSHED ALUMINUM'

VINYL

V1 3M 3630-73 'DARK RED'

V5 3M 3635-70 '60% DIFFUSER'



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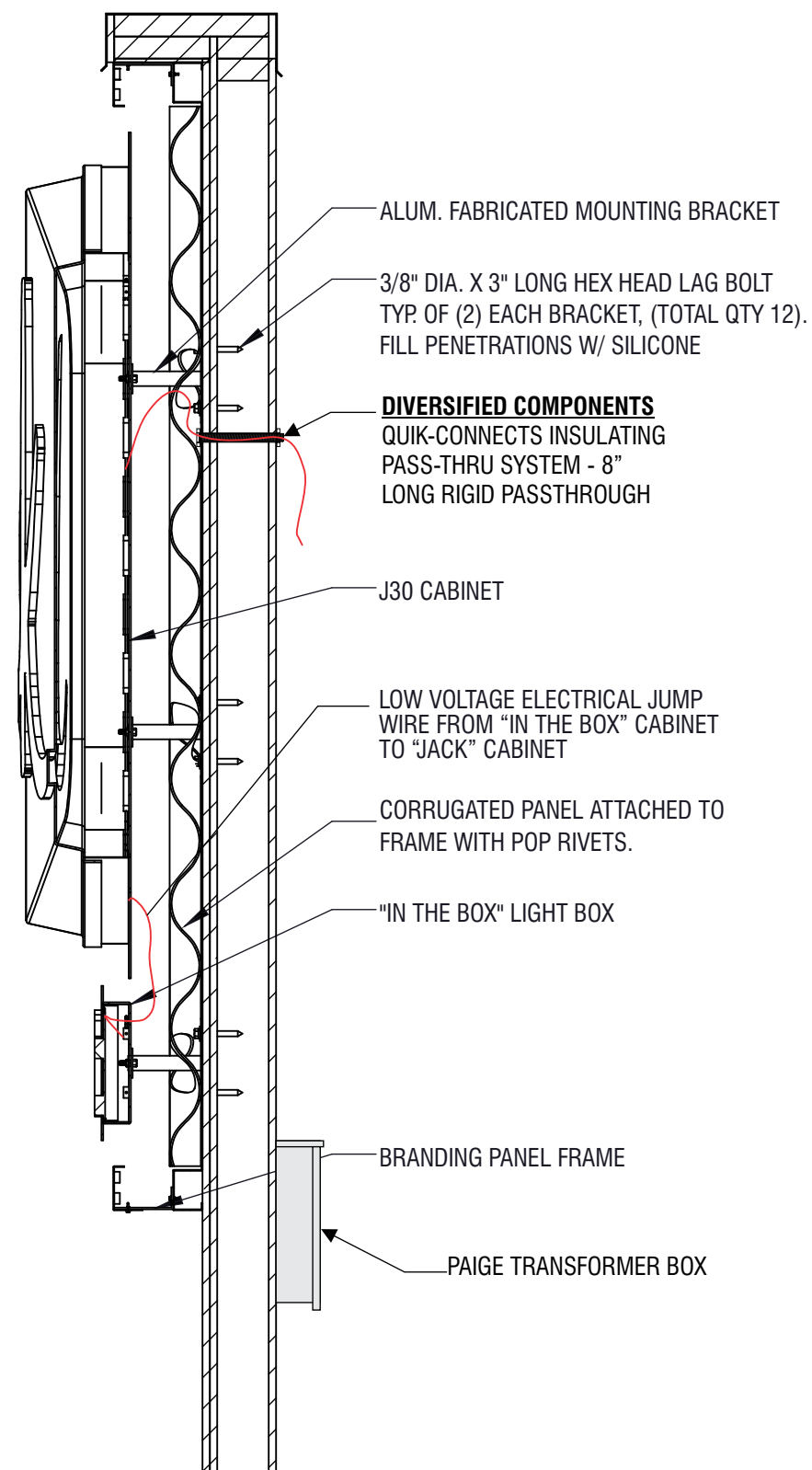
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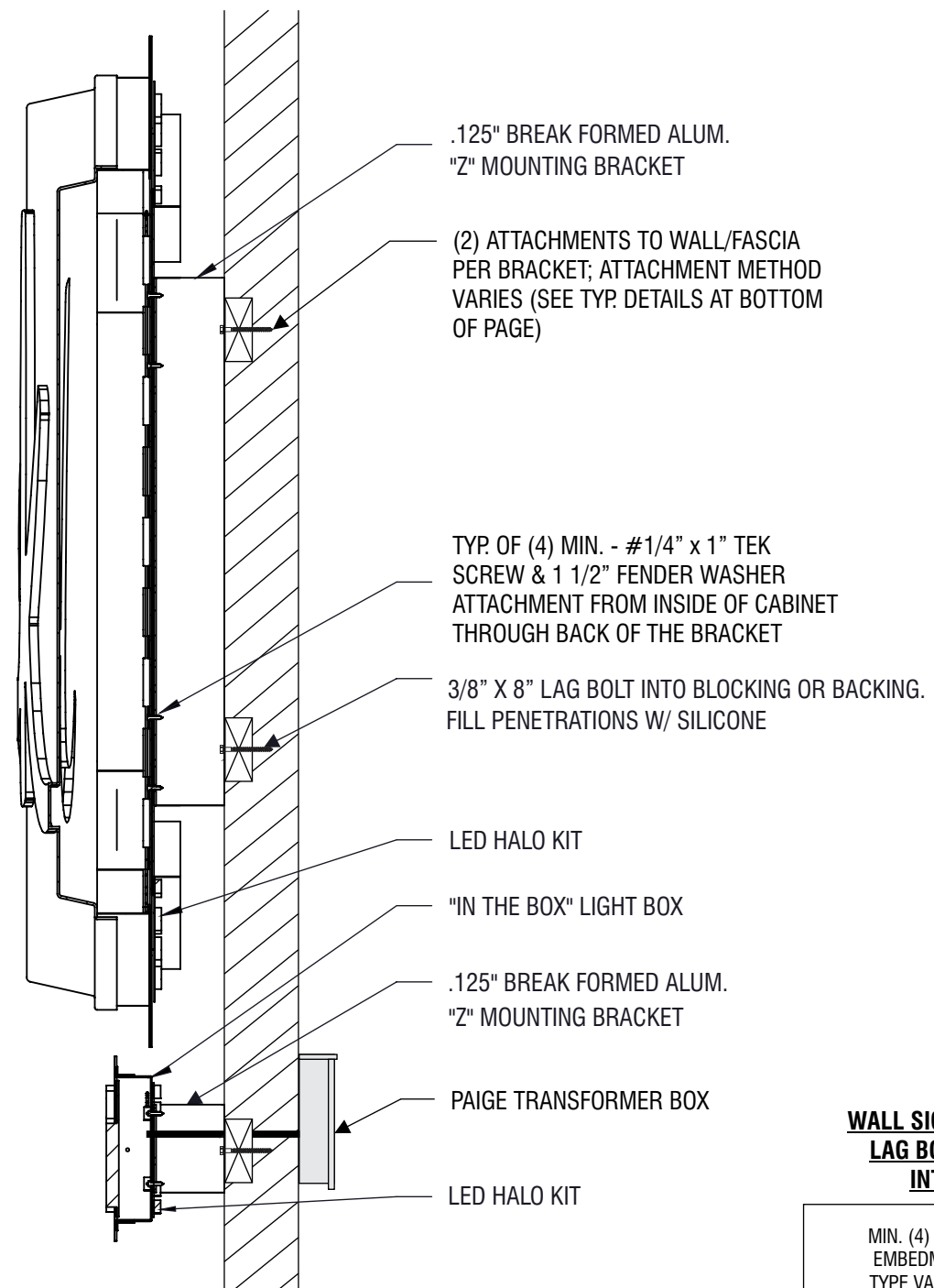
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quote:
project ID: JIB_4387_2



C1 C2

INSTALLATION VERTICAL SECTION

Scale: 1" = 1'-0"



WALL SIGN SECTION DETAIL LAG BOLT ATTACHMENT INTO BLOCKING

MIN. (4) PER CABINET/ 2 1/2"
EMBEDMENT (ATTACHMENT
TYPE VARIES PER SURFACE):

STUCCO:	3/8" SSTL. BOLT W/ NYLON ANCHOR
WOOD:	3/8" WOOD SCREW
CONCRETE:	3/8" EXPANSION ANCHOR
DRYWALL:	3/8" TOGGLE BOLT

C3

VERTICAL SECTION

Scale: 1" = 1'-0"



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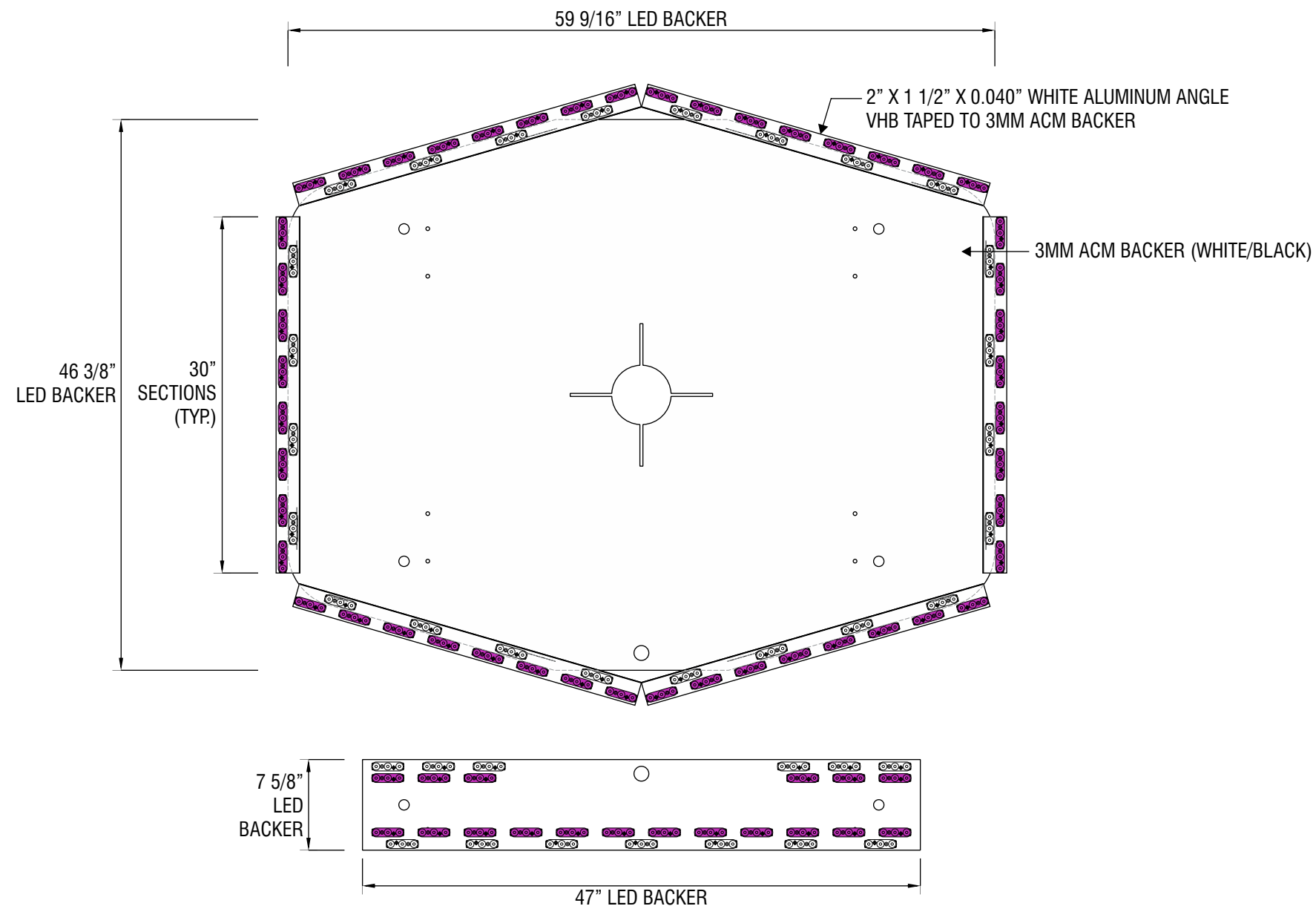
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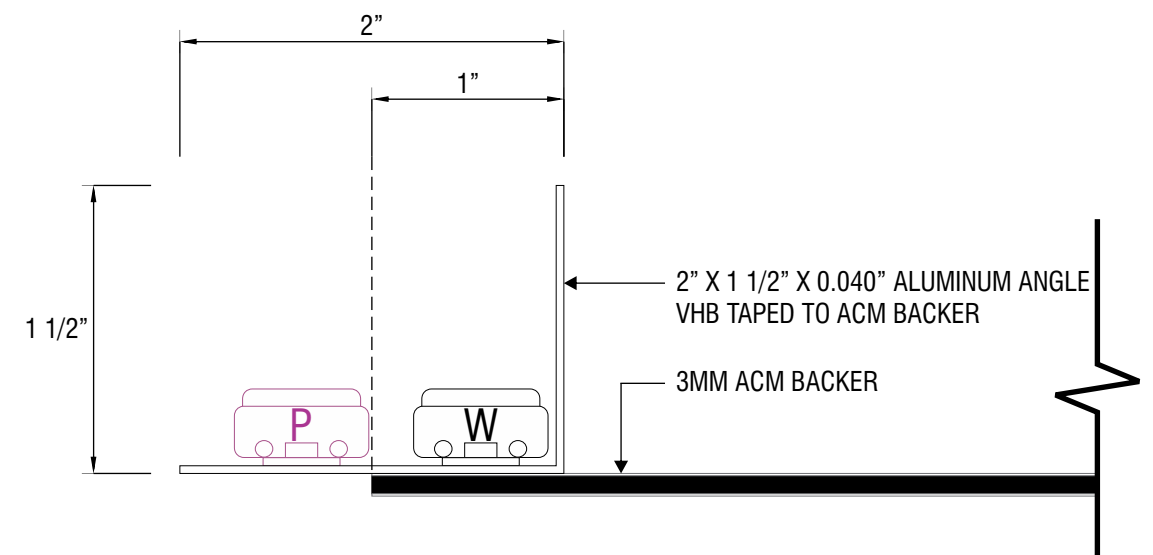
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FRONT VIEW (FACING BACK SIDE OF J30 SIGN)
SCALE: 1" = 1'-0"



BAFFLE SECTION **SCALE: FULL SIZE**

D SIGNTYPE JITB-J30-HALO KIT

MANUFACTURE AND INSTALL ONE (1) J30 LED HALO KIT

BACKER: 3MM ACM (WHITE/BLACK)

BAFFLE: 2" X 1 1/2" X 0.040" PRE-COATED WHITE ALUMINUM ANGLE

ILLUMINATION: WHITE AND PURPLE LED



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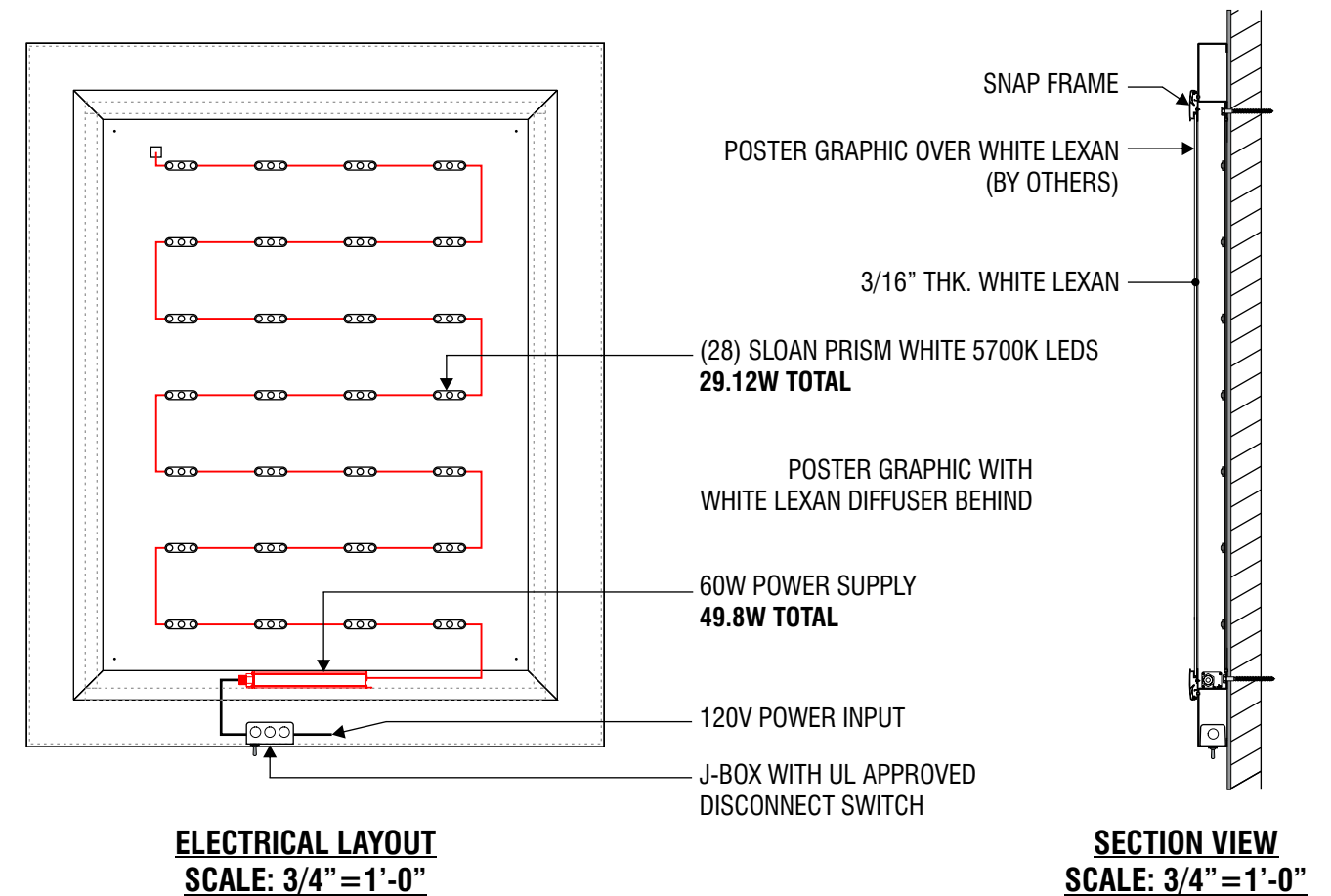
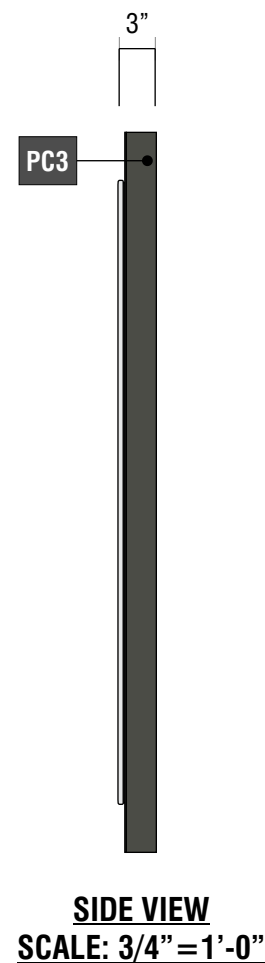
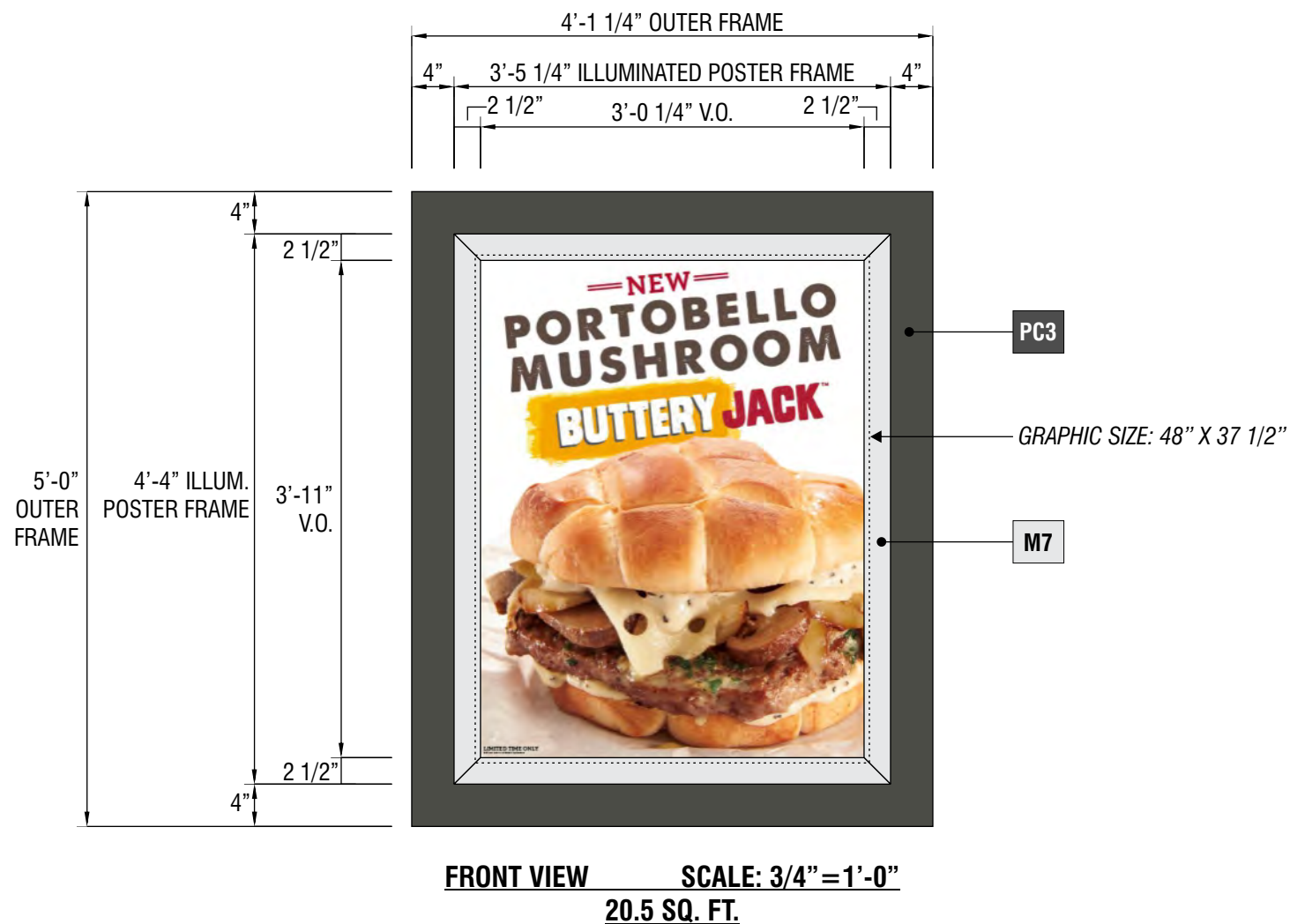
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project ID: JIB_4387_2



E1 E2 E3 E4 E5 SIGNTYPE JITB-WC-60x49-MARQUEE

MANUFACTURE AND INSTALL FIVE (5) ILLUMINATED SINGLE POSTER MARQUEE PANEL(S)

FACE: ROUTED 3/16" WHITE LEXAN WITH ATTACHED SNAP FRAME, *INSERTS BY OTHERS*

OUTER FRAME: FABRICATED .063" THICK ALUMINUM

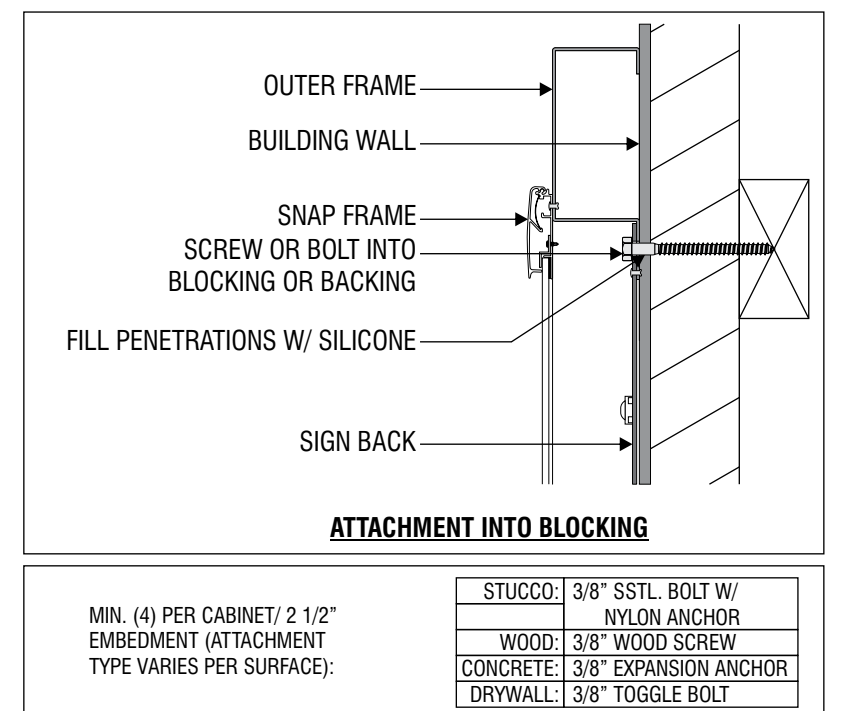
ILLUMINATION: INTERNAL LED ILLUMINATION AND UL APPROVED DISCONNECT SWITCH

POWDER COAT

PC3 TO MATCH RAL7022 W/ SATIN FINISH
'UMBRA GREY'

MATERIALS

M7 ALUMINUM SNAP FRAME W/ CLEAR ANODIZED SATIN FINISH



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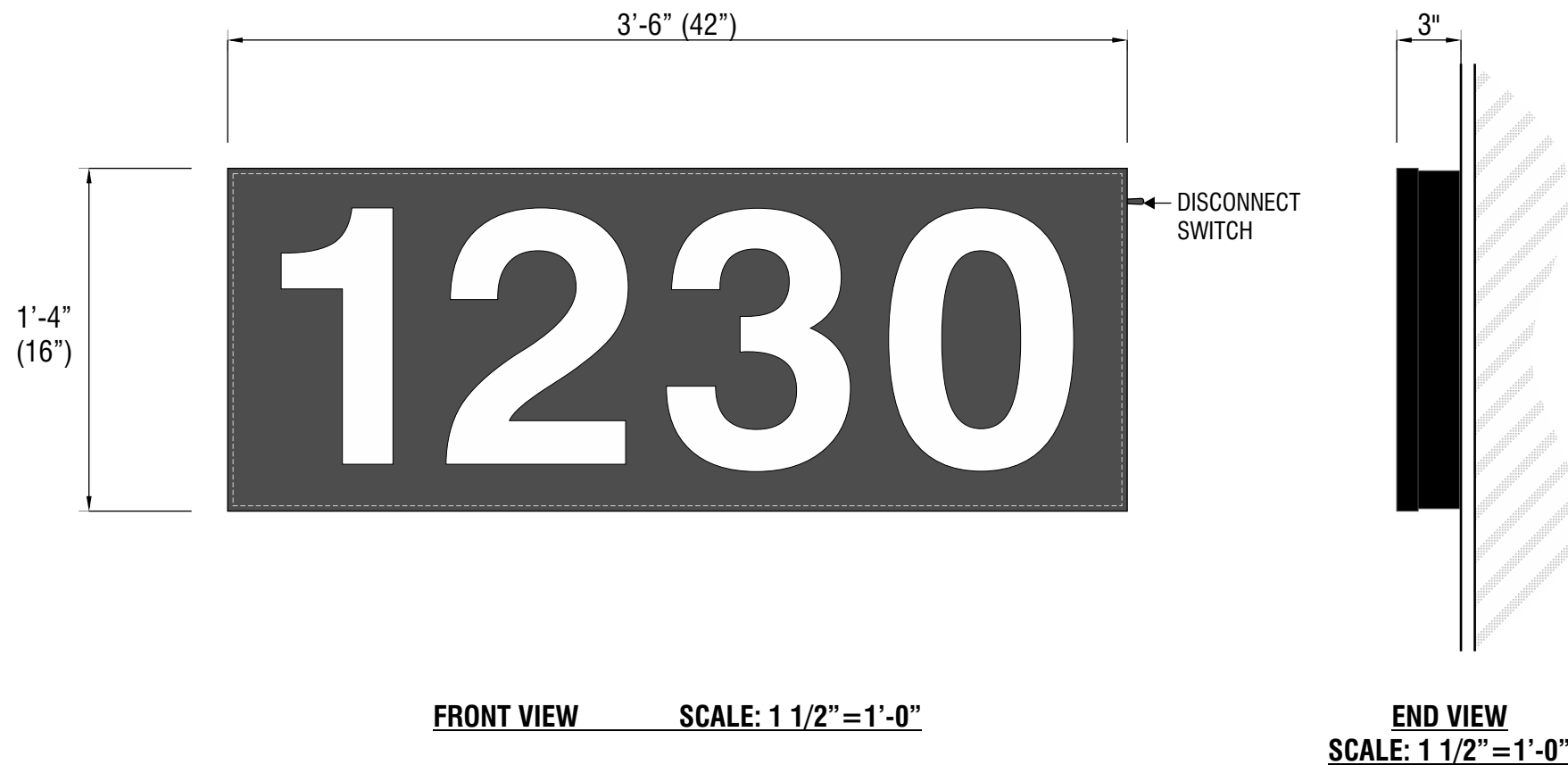
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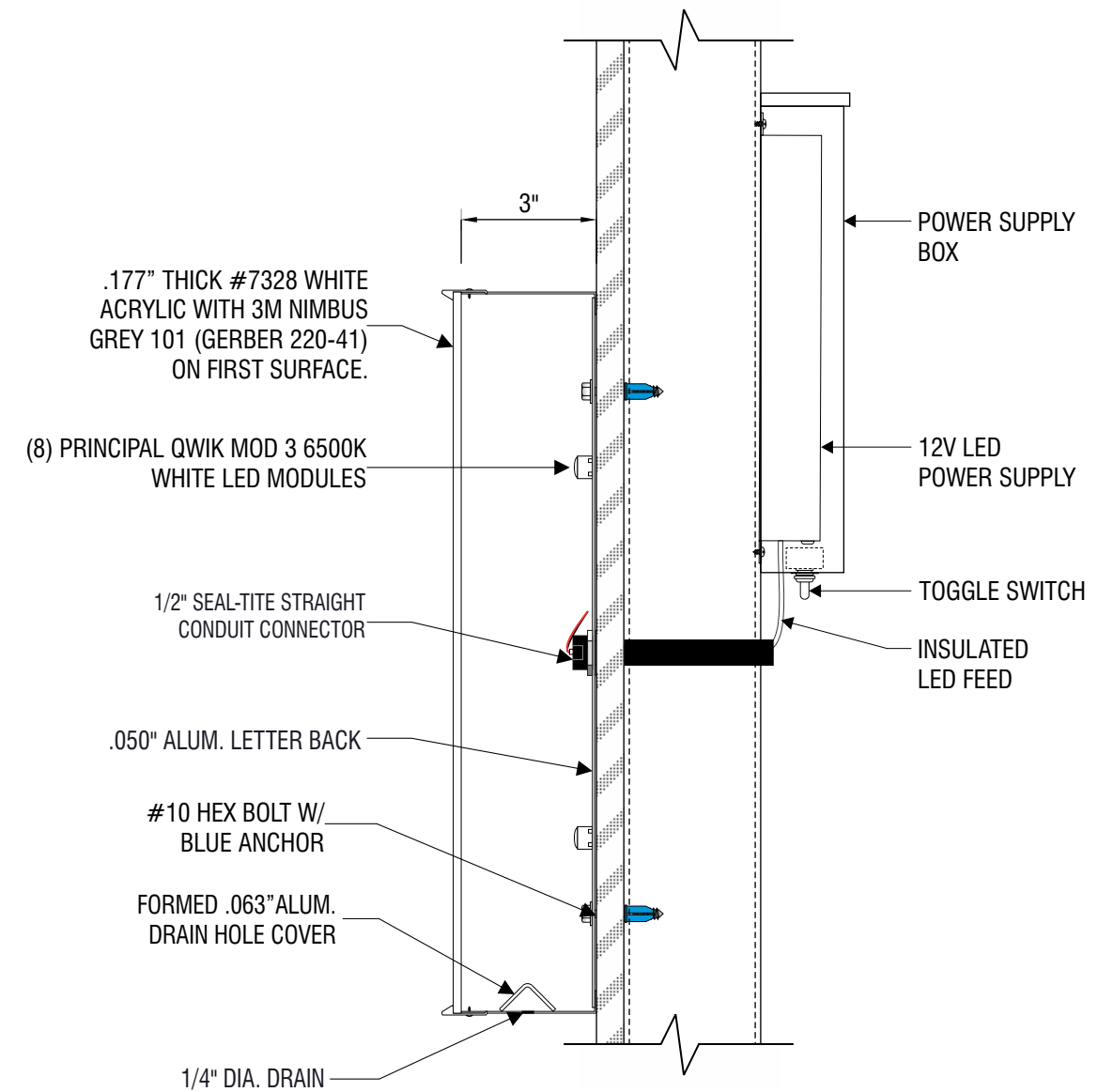
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Engineering:

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quote:
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STUCCO:	1/4" SSTL. BOLT W/ NYLON ANCHOR
WOOD:	1/4" LAG WOOD SCREW
CONCRETE:	1/4" EXPANSION ANCHOR
DRYWALL:	1/4" TOGGLER BOLT



F SIGNTYPE **JITB-WC-16x42-ADDRESS-1230**

MANUFACTURE AND INSTALL ONE (1) PLEX FACE INTERNALLY ILLUMINATED ADDRESS CHANNEL LETTER

FACE: .177" THICK #7328 WHITE ACRYLIC WITH 3M NIMBUS GREY 101 (GERBER 220-41) ON FIRST SURFACE.

TRIMCAP : 1" BLACK JEWELITE

RETURNS: .040" x 3" DEEP PRE-PAINTED SATIN BLACK ALUM. COIL.

BACKS: .050" PRE-PAINTED WHITE ALUM.

ILLUMINATION : PRINCIPAL QWIK MOD 3 6500K WHITE



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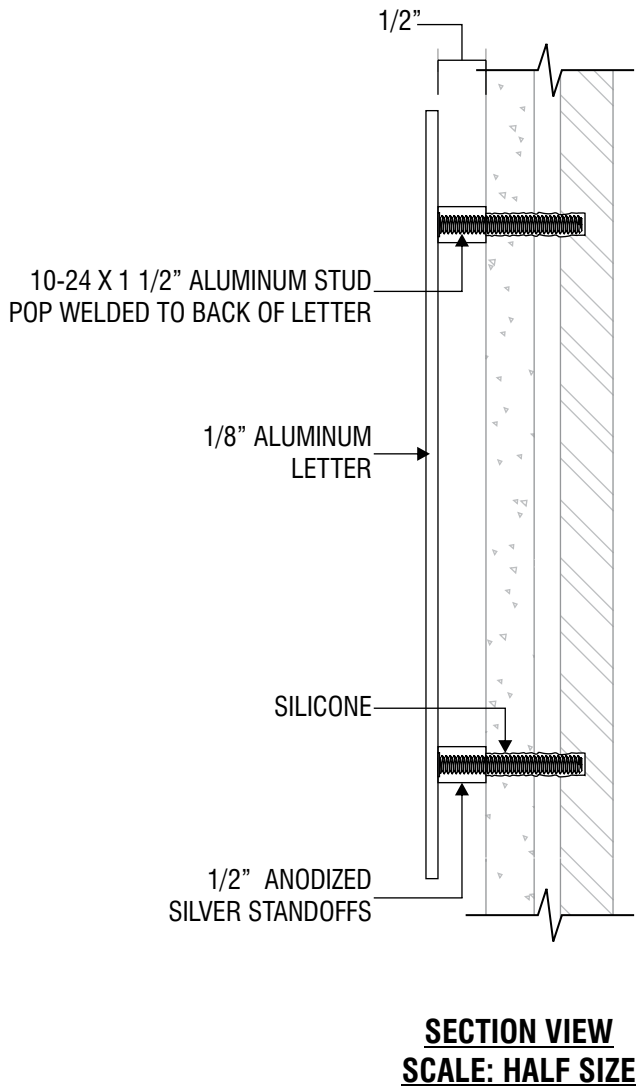
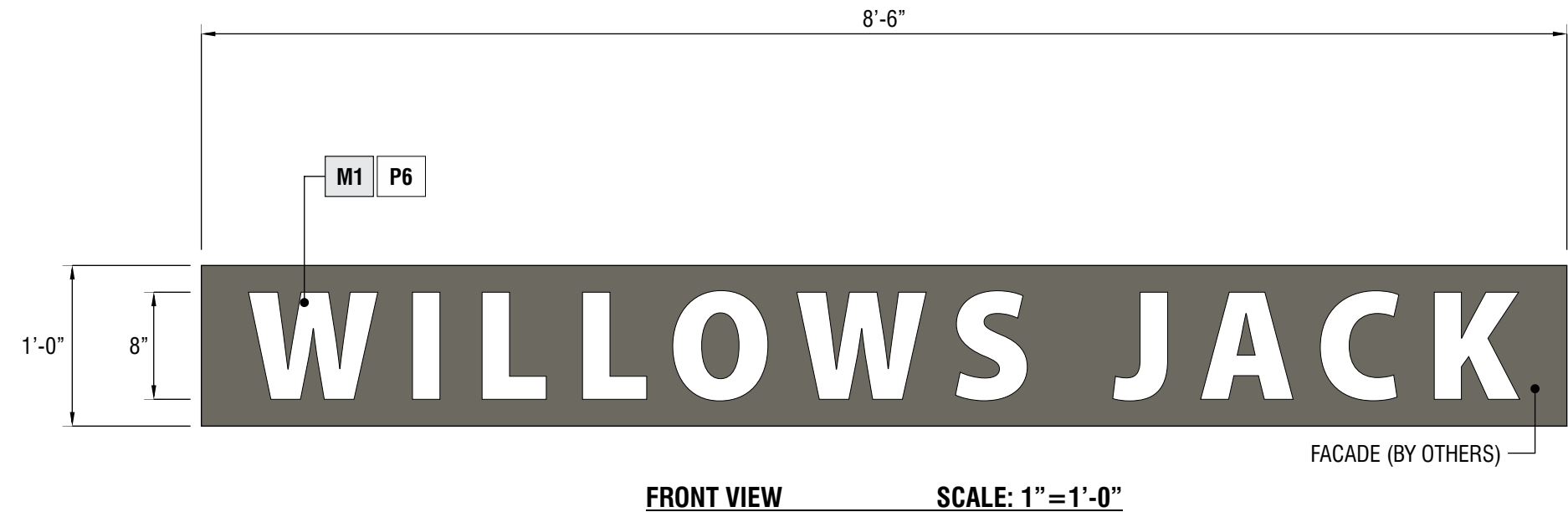
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quote:
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REMOVE NOTES AFTER ADJUSTMENT



G SIGNTYPE JITB-FCO-AL-8

MANUFACTURE AND INSTALL ONE (1) SET OF NON-ILLUMINATED
WALL MOUNTED FCO NEIGHBORHOOD SIGN LETTERS

PAINT

P6 POWDER COAT WHITE - SATIN FINISH

MATERIALS

M1 1/8" ALUMINUM



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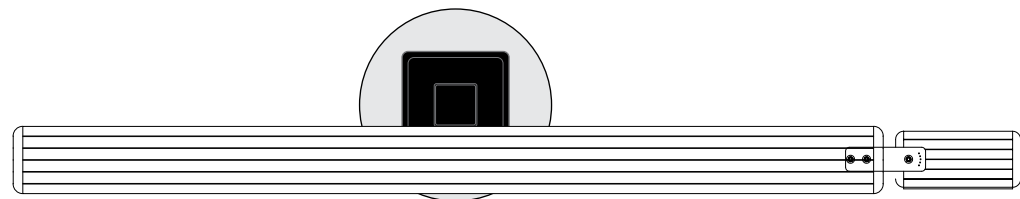
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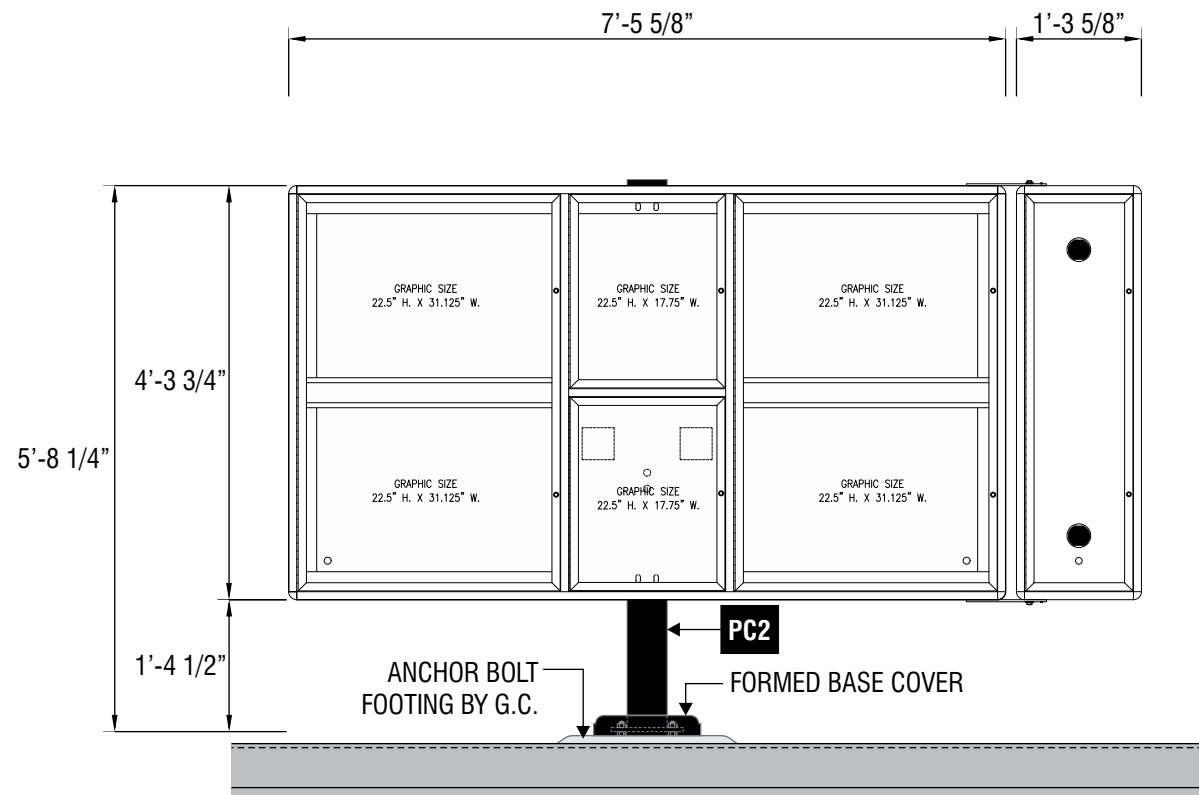
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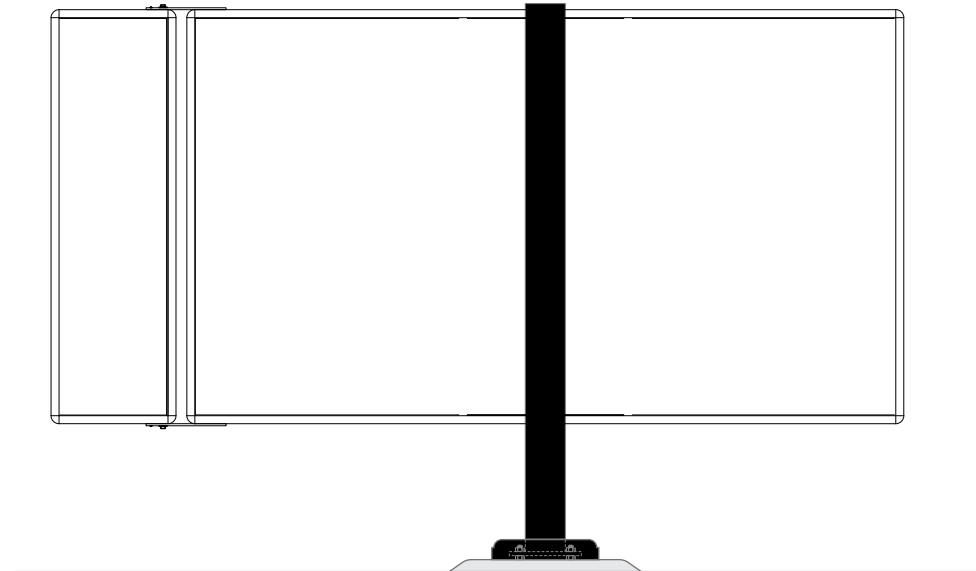
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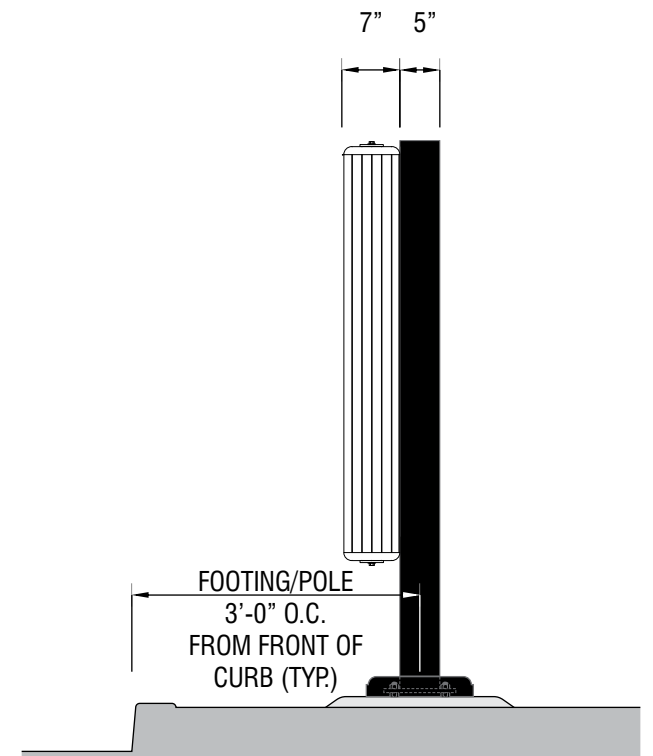
PLAN VIEW SCALE: 1/2"=1'-0"



FRONT VIEW SCALE: 1/2"=1'-0"



REAR VIEW SCALE: 1/2"=1'-0"



SIDE VIEW SCALE: 1/2"=1'-0"

H1 H2 SIGNTYPE PREVIEW MENU BY OTHERS

INSTALL ONE (1) PREVIEW MENU BY OTHERS WITH BREAKFAST EXTENDER

CABINET: MANUFACTURED BY NATIONAL SIGNS
POLE: 5" STEEL SQUARE TUBE

POWDER COAT

PC2 TO MATCH RAL 9004 'SIGNAL BLACK'
W/ SATIN FINISH

(A) 21 1/2" X 30 1/4" V.O. / 4.5 SQ. FT. (x2) = 9 SQ. FT.

(B) 21 1/2" X 17" V.O. / 2.5 SQ. FT. (x2) = 5 SQ. FT.

(C) 21 1/2" X 14 5/16" V.O. / 2.1 SQ. FT. (x4) = 8.4 SQ. FT.

(D) 47 1/4" X 11" V.O. / 3.6 SQ. FT. (x1) = 3.6 SQ. FT.

TOTAL: 26 SQ. FT

SQUARE FOOTAGE CALCULATIONS

SCALE: 3/8" = 1'-0"



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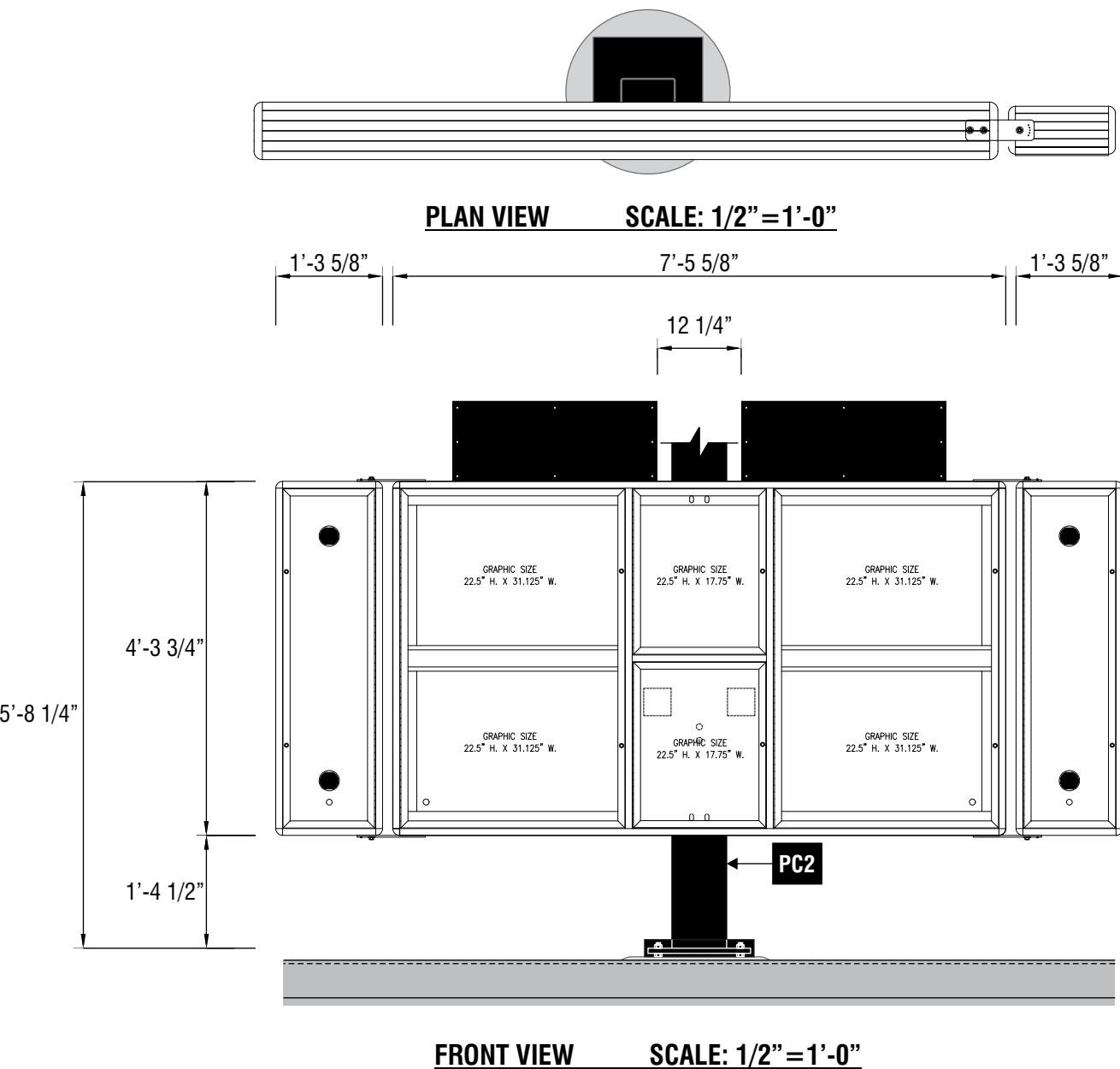
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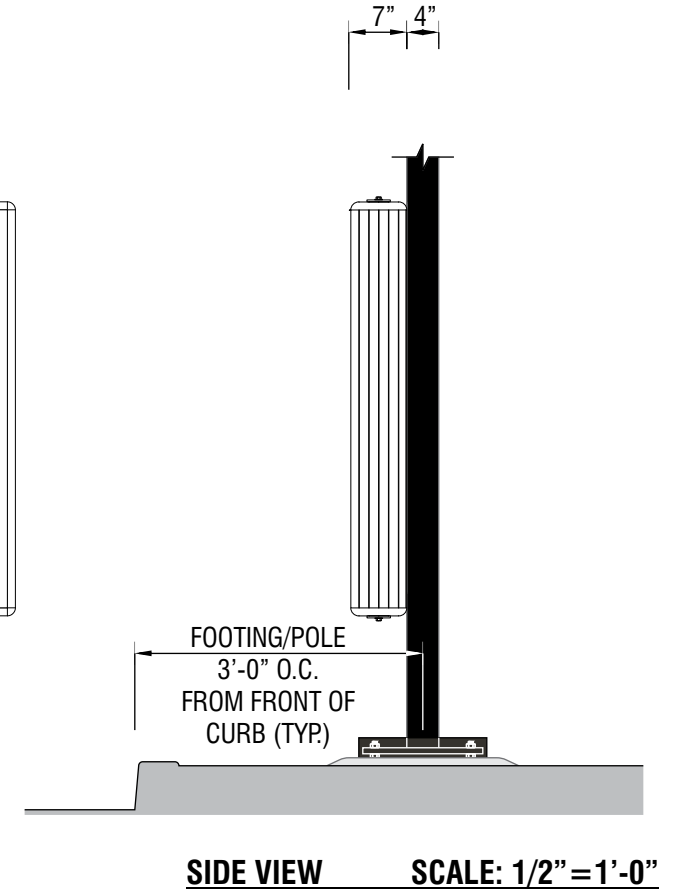
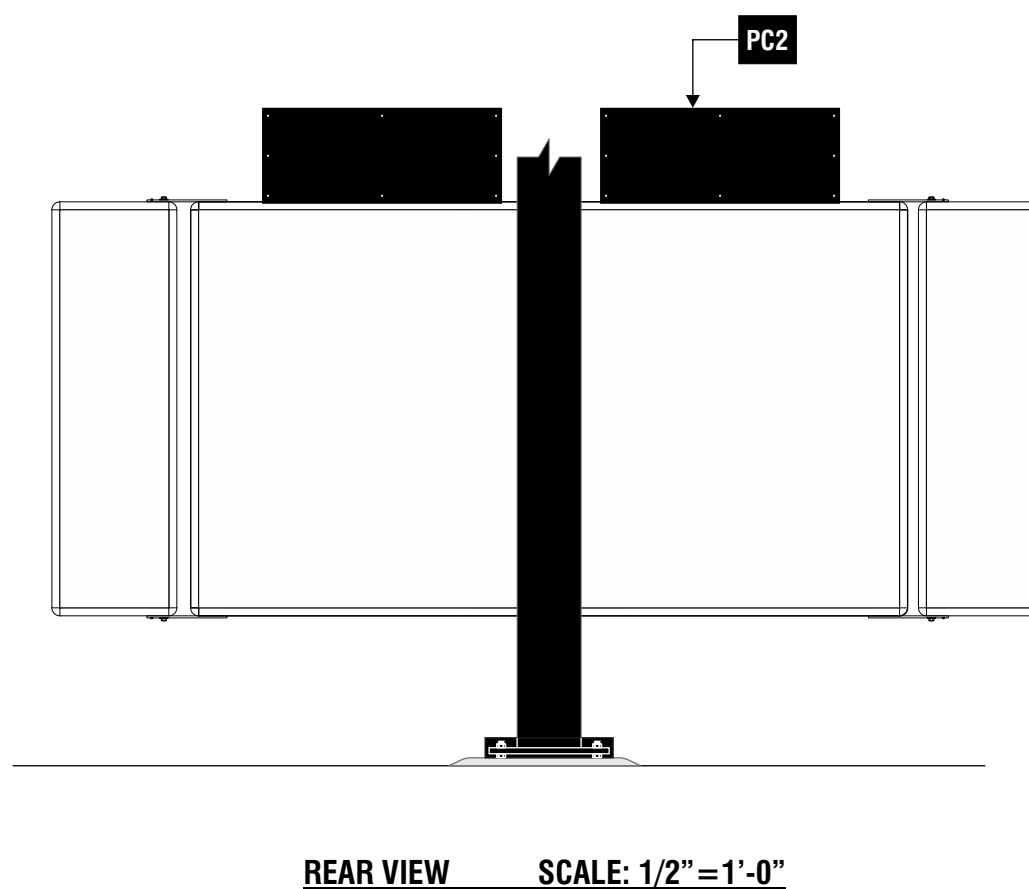
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Engineering:

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NOTE: MENU LUG-ON HARDWARE MUST BE SPACED CORRECTLY FOR GRAPHICS TO FIT.



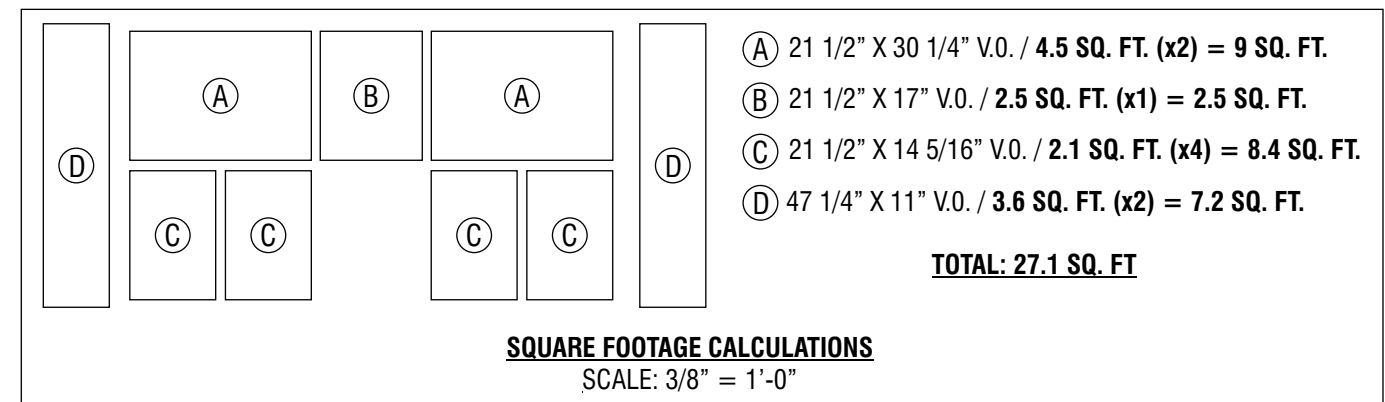
I1 I2 SIGNTYPE SPEAKER MENU BY OTHERS

INSTALL ONE (1) SPEAKER MENU BY OTHERS WITH BREAKFAST & LATE NIGHT EXTENDERS BY OTHERS AND MENU LUG-ON HARDWARE PANELS BY OTHERS

CABINET: MANUFACTURED BY NATIONAL SIGNS
POLE: 4"x8" STEEL RECTANGULAR TUBE (SEE MENU CANOPY)

POWDER COAT

PC2 TO MATCH RAL 9004 'SIGNAL BLACK' W/ SATIN FINISH



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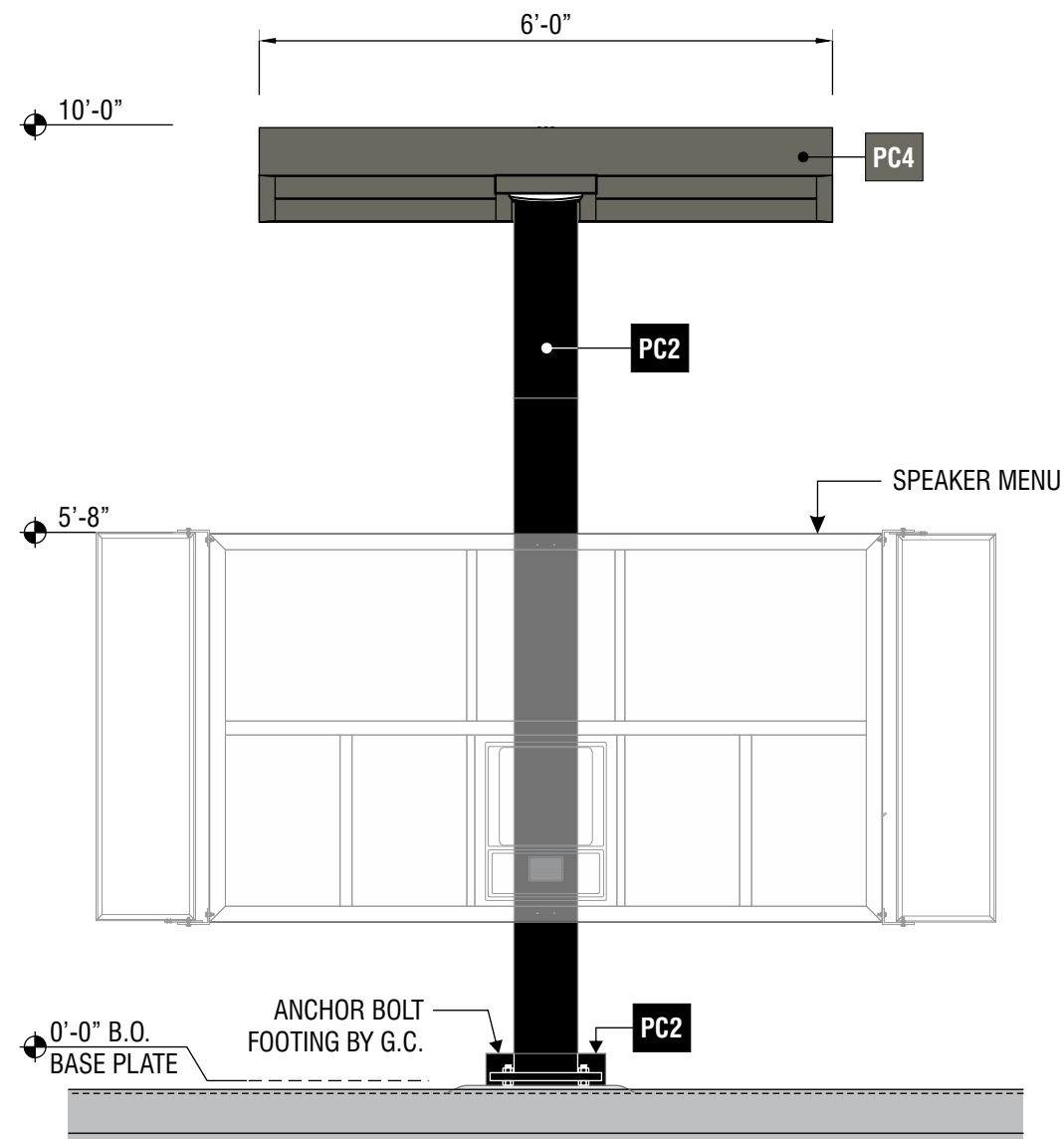
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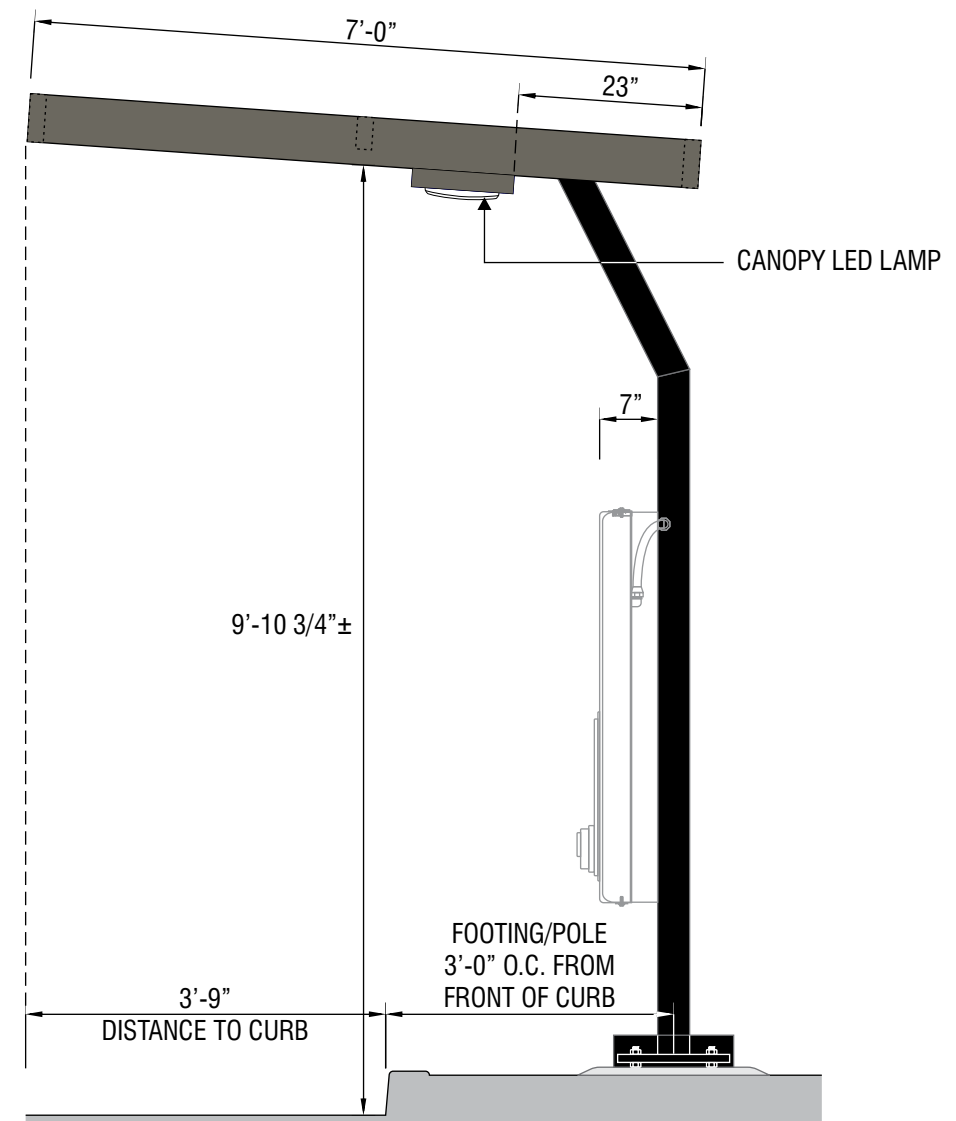
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FRONT VIEW SCALE: 1/2"=1'-0"



SIDE VIEW SCALE: 1/2"=1'-0"

J1 J2 SIGNTYPE JITB-CAN-72x84-120

MANUFACTURE AND INSTALL ONE (1) MENU WEATHER CANOPY

CANOPY: ALUMINUM RECT. TUBE FRAME WITH ALUMINUM ROOF AND ALUMINUM LAMP ENCLOSURE

POLE: 4"x8" STEEL RECTANGULAR TUBE W/ FABRICATED ALUMINUM BASE COVER

ILLUMINATION: LED LAMP; COLOR TEMP: 5000K; WATTAGE: 42; LUMEN OUTPUT: 5003

POWDER COAT

PC2 TO MATCH RAL 9004 'SIGNAL BLACK' W/ SATIN FINISH

PC4 TO MATCH RAL7039 W/ SATIN FINISH 'QUARTZ GREY'



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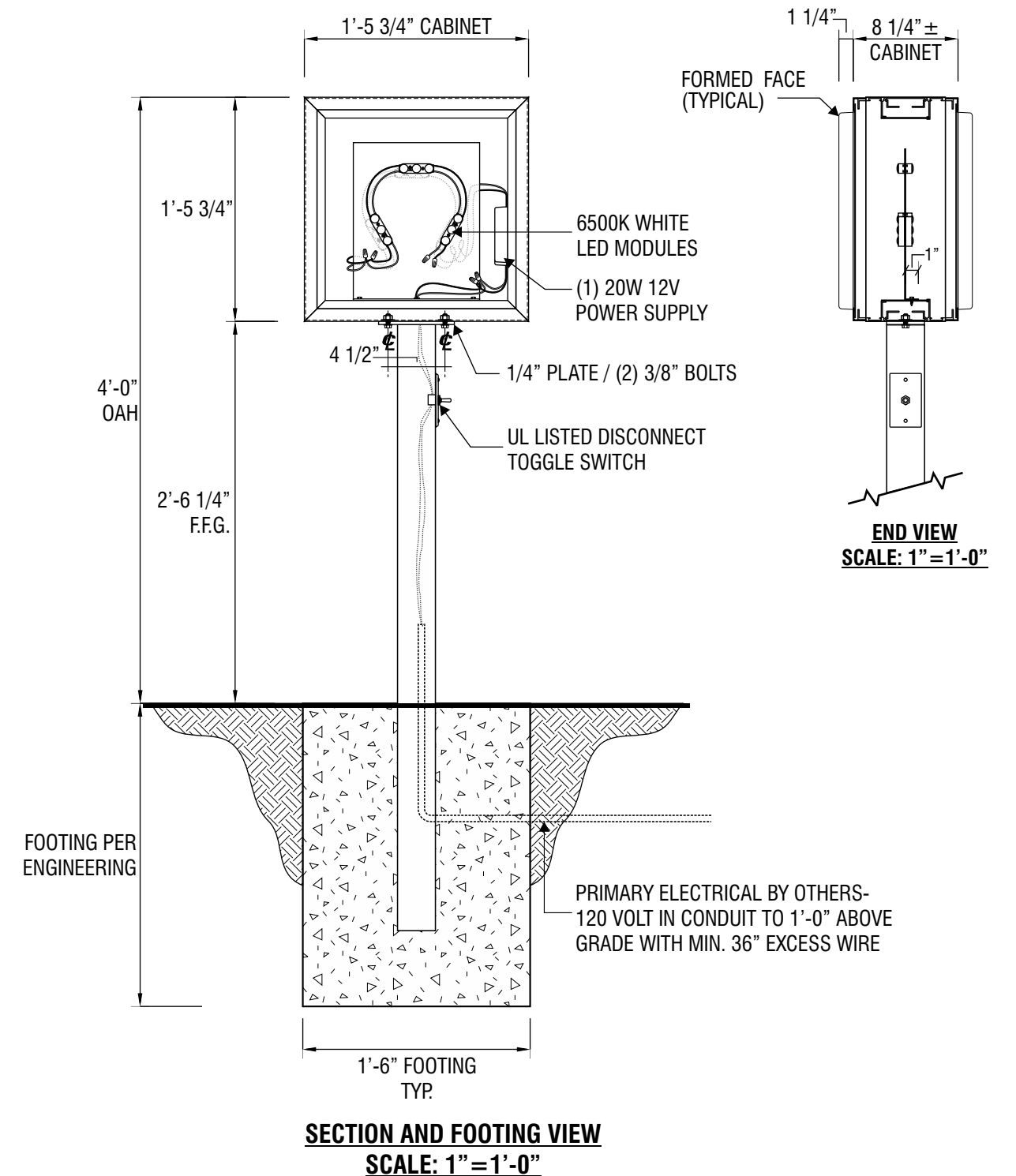
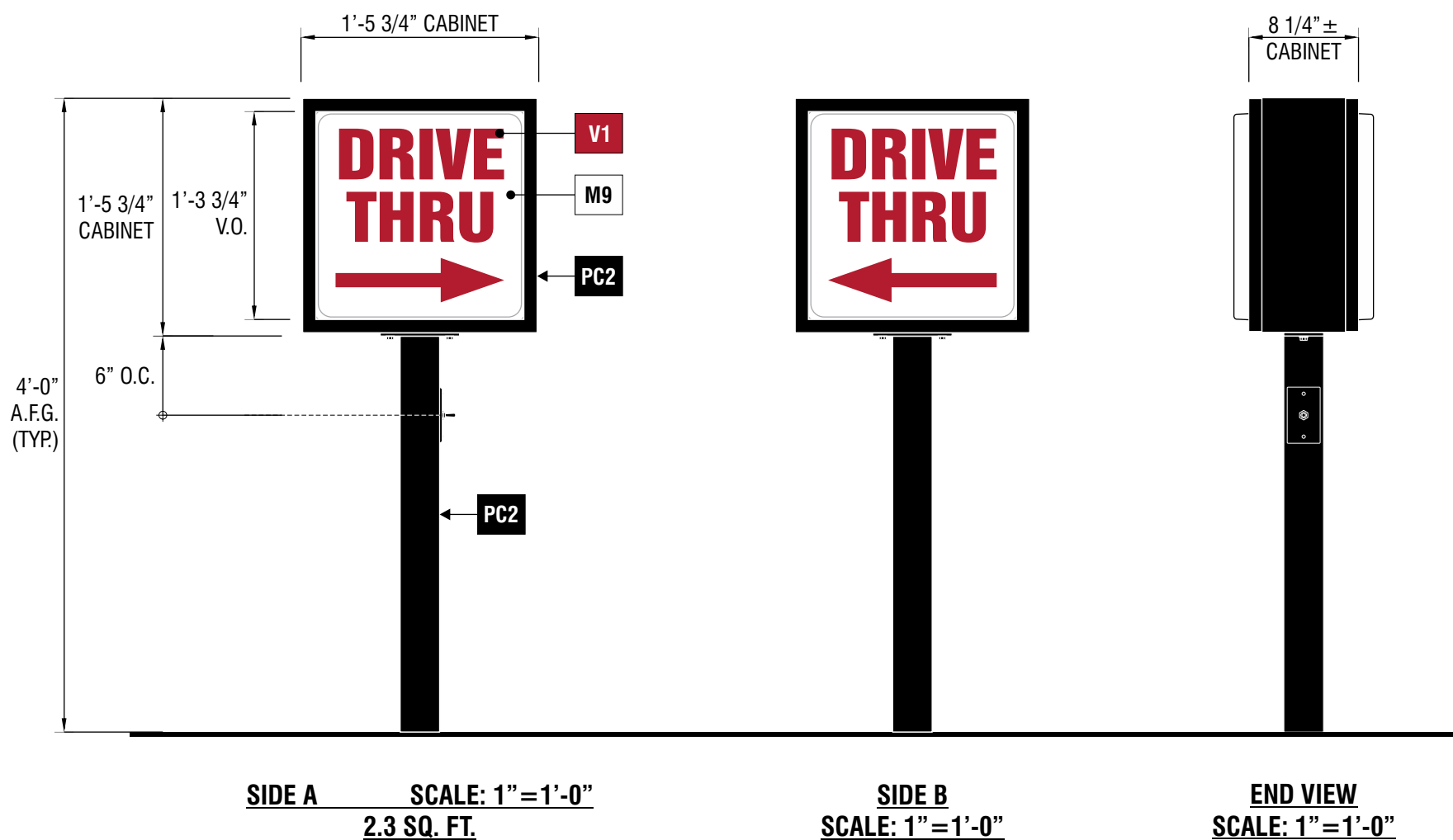
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project ID: JIB_4387_2



K1 K2 K3 SIGNTYPE JITB-DIR-17x17x48-DRIVETHRU-LEFT/RIGHT

MANUFACTURE AND INSTALL THREE (3) D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN(S)

CABINET: EXTRUDED ALUMINUM

POLE: 3"x3" STEEL SQUARE TUBE

ILLUMINATION: LED - PRINCIPAL QWIK MOD 3 6500K WHITE

POWDER COAT

PC2 TO MATCH RAL 9004 'SIGNAL BLACK' W/ SATIN FINISH

MATERIALS

M9 .093" WHITE LEXAN

VINYL

V1 3M 3630-73 'DARK RED'



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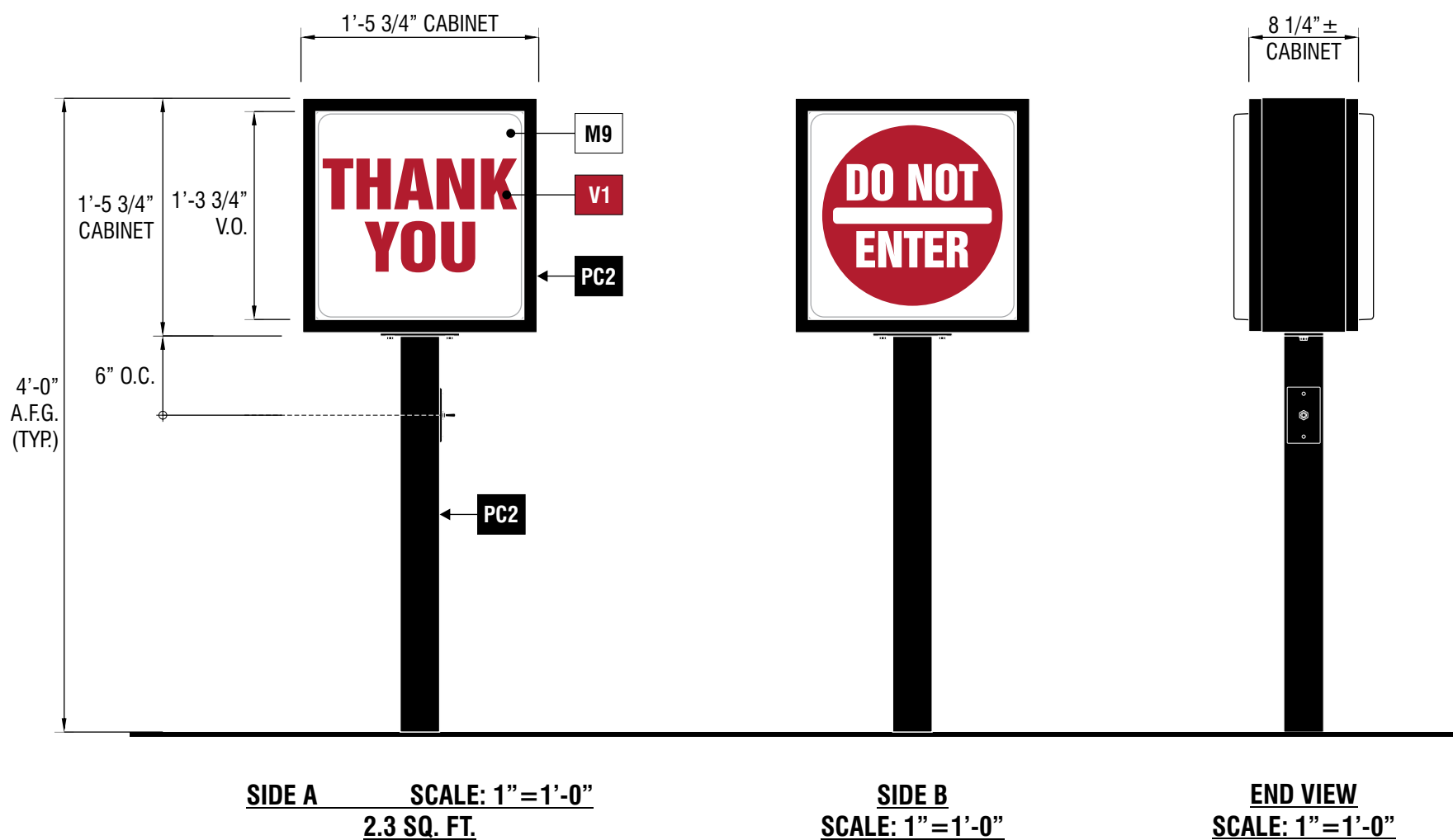
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Design: JMc
Engineering:

date: 3/12/21
drawing: J4387-PERMIT **rev:**XX
quote:
project ID: JIB_4387_2



K4 SIGNTYPE JTB-DIR-17x17x48-THANKYOU/DONOTENTER

MANUFACTURE AND INSTALL ONE (1) D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN(S)

CABINET: EXTRUDED ALUMINUM

POLE: 3"x3" STEEL SQUARE TUBE

ILLUMINATION: LED - PRINCIPAL QWIK MOD 3 6500K WHITE

POWDER COAT

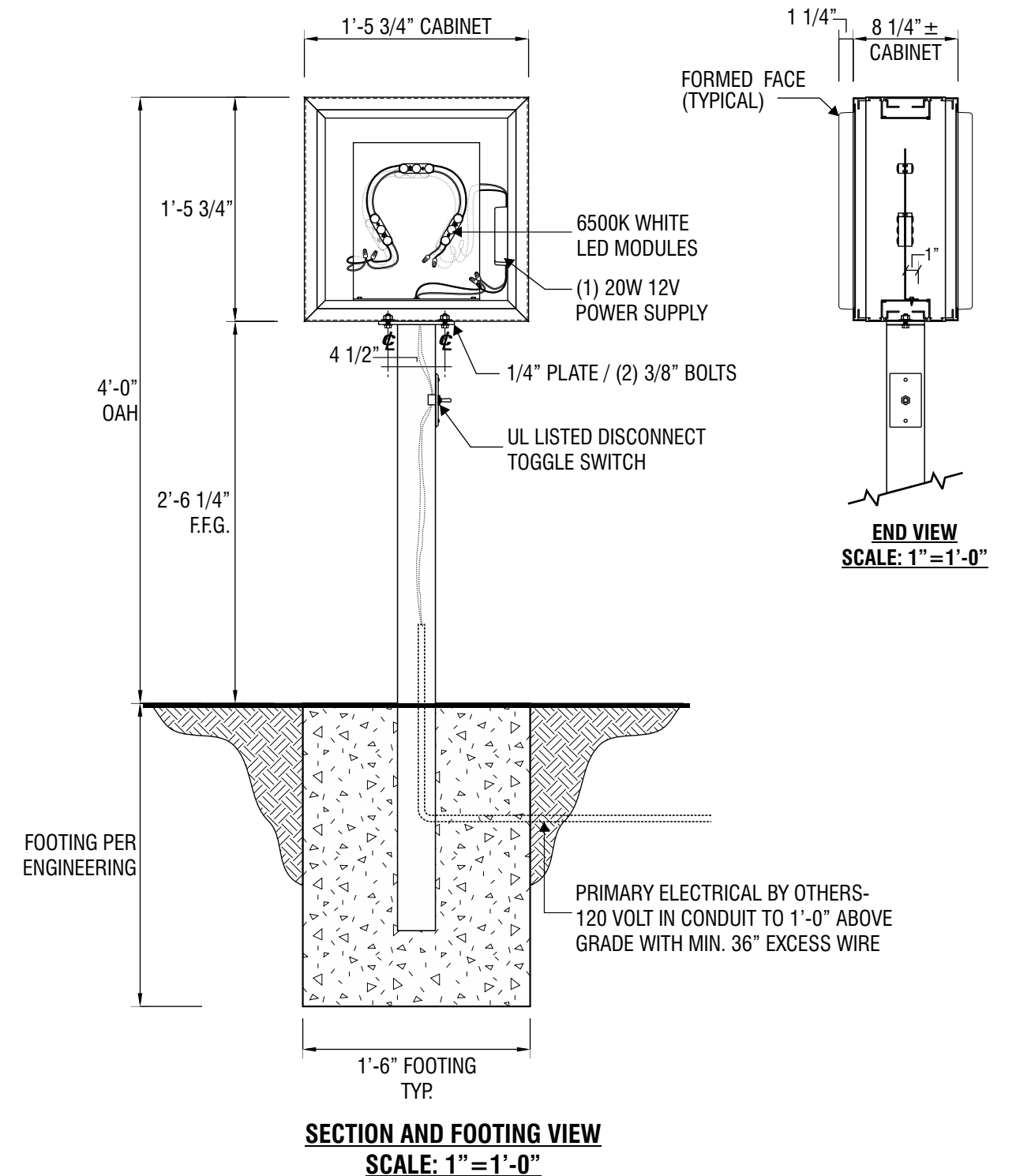
PC2 TO MATCH RAL 9004 'SIGNAL BLACK' W/ SATIN FINISH

MATERIALS

M9 .093" WHITE LEXAN

VINYL

V1 3M 3630-73 'DARK RED'



4444 Federal Blvd San Diego, CA 92102
(619) 527-6100 signtech.com

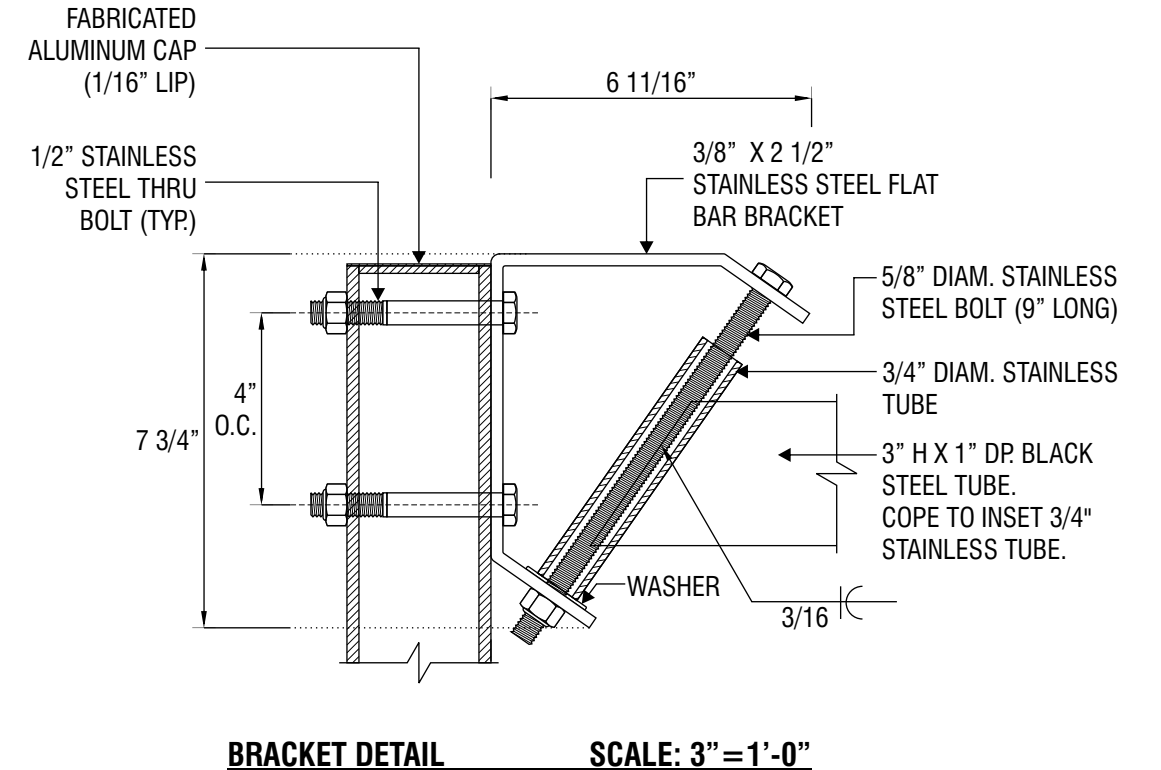
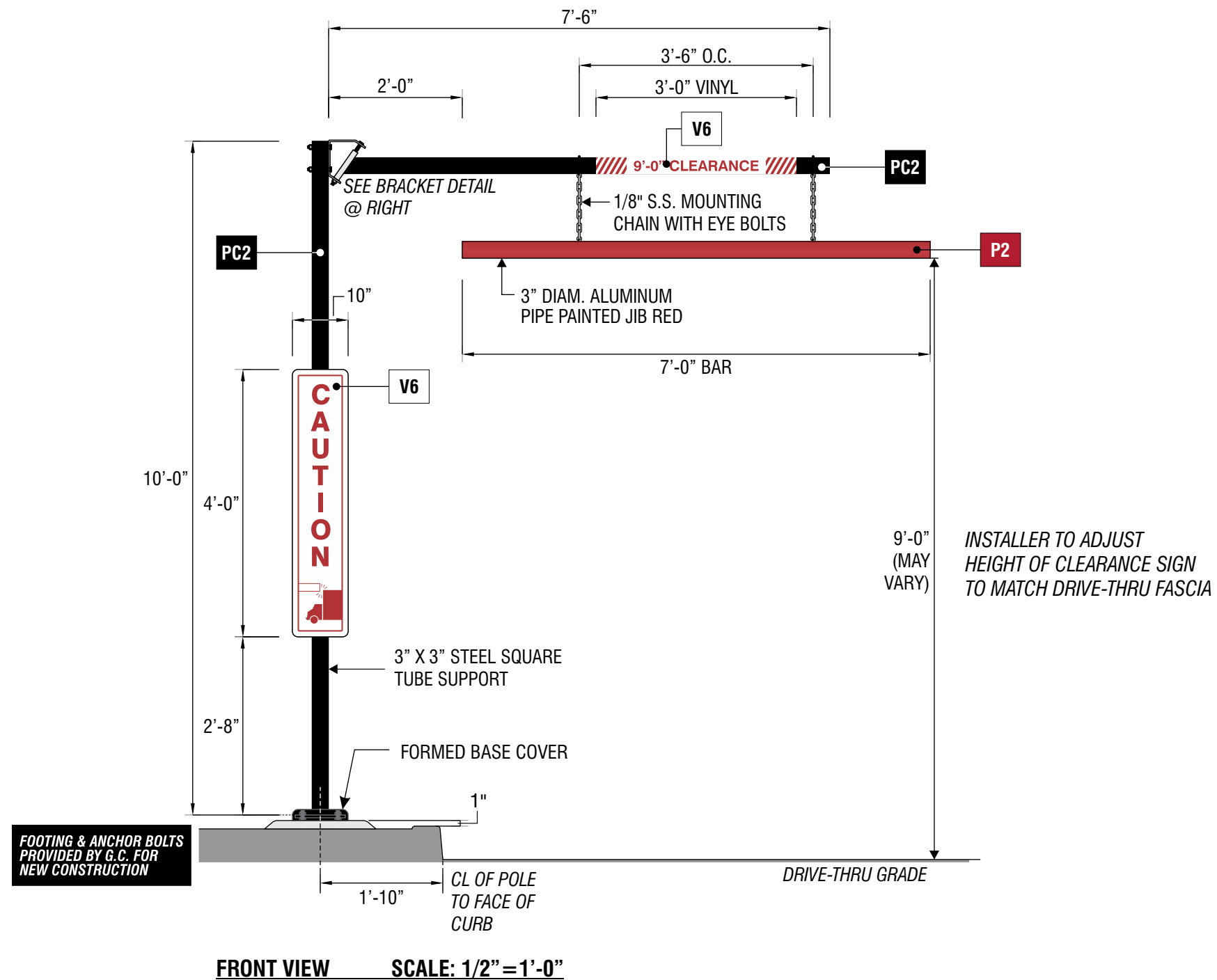
JACK IN THE BOX

J4387
1230 W Wood St Willows, CA 95988 USA

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Sales: Bob McCarter
Coordinator: Thea Tochiara
Design: JMc
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L1 L2 SIGNTYPE JIB-H-BAR-120

MANUFACTURE AND INSTALL ONE (1) HEIGHT DETECTOR

POLE: 3"x3" STEEL SQUARE TUBE

ARM: 3"x1" STEEL RECTANGULAR TUBE

POLE 'CAUTION' PANEL: .063" PRE-COATED WHITE ALUMINUM

POWDER COAT

PC2 TO MATCH RAL 9004 'SIGNAL BLACK' W/ SATIN FINISH

PAINT

P2 TO MATCH MP 64691 'JIB RED' W/ SATIN FINISH

VINYL

V6 3M WHITE REFLECTIVE VINYL (680-10) W/ PMS 200 PRINTED COPY



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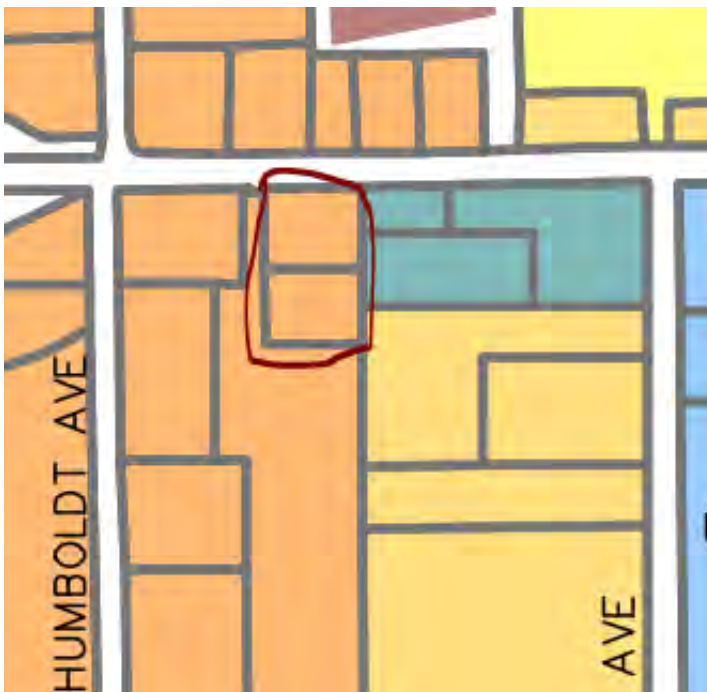
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ZONING & GENERAL PLAN MAP



-  RP: RESIDENTIAL/PROFESSIONAL
-  HIGHWAY COMMERCIAL
-  E: ENTRYWAY

ZONING DESIGNATION